



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Meeting Agenda - Final

City Council

Tuesday, August 2, 2016

6:00 PM

Council Chambers

Study Session Meeting to be held at 3:00 PM in the Study Session Room

A. STUDY SESSION

- A.1 [16-190](#) Discuss regular City Council meeting agenda items.
- A.2 [16-196](#) Receive an update from DART Board of Director Faye Moses Wilkins.
- A.3 [16-212](#) Receive an Economic Development Update.
- A.4 [16-195](#) Receive a report on the findings and recommendations of the compensation study.
- A.5 [16-203](#) Discuss the City Manager's balanced budget and organizational funding requests related to the Proposed 2016-17 Fiscal Year Budget.
- A.6 [16-193](#) Briefing by the City Attorney regarding regulations for the sale and consumption of alcoholic beverages for onsite consumption.
- A.7 [16-191](#) Discuss agenda items for future City Council meetings.

B. INVOCATION & PLEDGE OF ALLEGIANCE

C. CEREMONIAL ITEMS

- C.1 [16-204](#) Presentation by Mayor Phelps on behalf of the International Institute of Municipal Clerks (IIMC) award of the Certified Municipal Clerk designation to City Secretary Amy Piukana.
- C.2 [16-199](#) Consider Board and Commission appointments; and take appropriate action.

D. REPORT ON STUDY SESSION ITEMS

E. CITY MANAGER'S REPORT AND ITEMS OF COMMUNITY INTEREST

Pursuant to Section 551.0415 of the Texas Government Code, the City Council or City Administration may report information on the following items: 1) expression of thanks, congratulations or condolences, 2) information about holiday schedules, 3) recognition of individuals, 4) reminders about upcoming City events, 5) information about community events, and 6) announcements involving an imminent threat to public health and safety.

F. CITIZEN COMMENTS

This agenda item provides an opportunity for citizens to address the City Council on any matter that is not posted on the agenda. Anyone wishing to address the City Council should complete a Citizen Comments Registration Card and submit it to the City Secretary or City Administration prior to the start of the City Council meeting. There is a three (3) minute time limit for each citizen to speak. Anyone wishing to speak shall be courteous and cordial. No disparaging or inflammatory remarks directed at any member of the City Council or City staff will be allowed.

The City Council is not permitted to take action on any subject raised by a speaker during Citizen Comments. However, the City Council may have the item placed on a future agenda for action; refer the item to the City Manager and/or City Administration for further study or action; briefly state existing City policy; or provide a brief statement of factual information in response to the inquiry.

G. CONSENT AGENDA

- G.1** [16-192](#) Consider approving minutes of the regular City Council meeting held on July 12, 2016; and take appropriate action.
- G.2** [R2016-055](#) Consider approving Resolution No. 2016-055, re-appointing Faye Moses Wilkins to the DART Board of Directors; and take appropriate action.
- G.3** [R2016-065](#) Consider approving Resolution No. 2016-065 approving the 2016-17 operating budget of the North Dallas County Water Supply Corporation and take appropriate action.
- G.4** [R2016-068](#) Consider approving Resolution No. 2016-068 authorizing an Interlocal Agreement between City of Farmers Branch and Dallas County for Health and Human Services; and take appropriate action.
- G.5** [R2016-069](#) Consider approving Resolution No. 2016-069 awarding the bid for the Cooks Creek Gabion Repair at Fyke Road to Ark Contracting Services, LLC; and take appropriate action.

H. PUBLIC HEARINGS

- H.1 [ORD-3381](#) Conduct a public hearing and consider adopting Ordinance No. 3381 approving a Specific Use Permit for a commercial indoor amusement facility located at 4372 Spring Valley Rd; and take appropriate action.
- H.2 [ORD-3382](#) Conduct a public hearing and consider adopting Ordinance No. 3382 amending the Site Plan to the Specific Use Permit for a Private School, including Athletic Facilities, granted by Ordinance No. 2879 to Parish Episcopal School to provide for the addition of a Multipurpose Activity Center, Performance Hall/Center and Soccer Field at the existing 4101 Sigma Road location; and take appropriate action.
- H.3 [ORD-3383](#) Conduct a public hearing and consider adopting Ordinance No. 3383 amending the Regulating Plan for Street Types of the Planned Development District No. 86 (PD-86) Station Area Code; and take appropriate action.
- H.4 [R2016-066](#) Conduct a public hearing and consider approving Resolution No. 2016-066 approving a townhome development located at the northern portion of the block between Bee, Vintage and Goodland Streets; and take appropriate action.

I. REGULAR AGENDA ITEMS

- I.1 [R2016-070](#) Consider approving Resolution No. 2016-070 authorizing the City Manager to execute an agreement for aerial spraying with Dallas County in the event that there is an imminent threat to public health; and take appropriate action.
- I.2 [R2016-067](#) Consider approving Resolution No. 2016-067 approving a First Amendment to the Project Specific Agreement with Dallas County relative to the Marsh Lane Bridge Project; and take appropriate action.
- I.3 [16-194](#) Consider adopting a motion to place a proposal to consider adopting a maximum property tax rate of \$0.6056 on the City Council agenda of September 20, 2016; schedule two public hearings on the proposed maximum rate for August 16, 2016 and September 6, 2016; and take appropriate action.

The City Council may convene into executive session at anytime during the Study Session or Regular Session pursuant to Texas Government Code Section 551.071(2) for the purpose of seeking confidential legal advice from the City Attorney on any regular or study session agenda item.

J. EXECUTIVE SESSION

- J.1 [16-197](#) Council may convene into a closed executive session pursuant to Section 551.072 of the Texas Government Code to deliberate regarding:
- Discuss the purchase, exchange, lease, or sale of real property located south of Valwood, north of I635, west of Marsh Lane, east of I35.

K. **RECONVENE INTO REGULAR SESSION AND TAKE ANY ACTION NECESSARY AS A RESULT OF THE CLOSED SESSION**

L. **ADJOURNMENT**

Farmers Branch City Hall is wheelchair accessible. Access to the building and special parking are available at the main entrance facing William Dodson Parkway. Persons with disabilities planning to attend this meeting who are deaf, hearing impaired or who may need auxiliary aids such as sign interpreters or large print, are requested to contact the City Secretary at (972) 919-2503 at least 72 hours prior to the meeting.

Certification

I certify that the above notice of this meeting was posted at least 72 hours prior to the scheduled meeting time, in accordance with the Open Meetings Act, on the bulletin board at City Hall.

Posted by: _____
City Secretary

Date posted: _____



City of Farmers Branch

Farmers Branch City Hall
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Farmers Branch, Texas
75234

Staff Report

File Number: 16-190

Agenda Date: 8/2/2016

Version: 1

Status: Study Session

In Control: City Council

File Type: Report

Agenda Number: A.1

Discuss regular City Council meeting agenda items.



City of Farmers Branch

Farmers Branch City Hall
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75234

Staff Report

File Number: 16-196

Agenda Date: 8/2/2016

Version: 1

Status: Study Session

In Control: City Council

File Type: Report

Agenda Number: A.2

Receive an update from DART Board of Director Faye Moses Wilkins.



City of Farmers Branch

Farmers Branch City Hall
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75234

Staff Report

File Number: 16-212

Agenda Date: 8/2/2016

Version: 1

Status: Study Session

In Control: City Council

File Type: Report

Agenda Number: A.3

Receive an Economic Development Update.



City of Farmers Branch

Farmers Branch City Hall
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Staff Report

File Number: 16-195

Agenda Date: 8/2/2016

Version: 1

Status: Study Session

In Control: City Council

File Type: Report

Agenda Number: A.4

Receive a report on the findings and recommendations of the compensation study.



City of Farmers Branch

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Staff Report

File Number: 16-203

Agenda Date: 8/2/2016

Version: 1

Status: Study Session

In Control: City Council

File Type: Report

Agenda Number: A.5

Discuss the City Manager's balanced budget and organizational funding requests related to the Proposed 2016-17 Fiscal Year Budget.

DISCUSSION:

City Administration will be present to answer questions related to the City Manager's balanced budget and organizational funding requests in the Proposed 2016-17 Fiscal Year Budget.



City of Farmers Branch

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Staff Report

File Number: 16-193

Agenda Date: 8/2/2016

Version: 1

Status: Study Session

In Control: City Council

File Type: Report

Agenda Number: A.6

Briefing by the City Attorney regarding regulations for the sale and consumption of alcoholic beverages for onsite consumption.

MEMO

FOR: Farmers Branch City Council
FROM: Peter G. Smith, City Attorney
DATE: July 28, 2016
SUBJECT: Local Regulation of Establishments Which Sale or Serve Alcoholic Beverages for On-Premise Consumption,

Pursuant to the request of the City Council we provide the following memorandum which contains background information and options for the City Council to consider in lessening the current regulations or enacting new regulations regarding establishments that serve alcoholic beverages for on-site consumption. In particular the City Council expressed interest in allowing “neighborhood bars”. This memorandum is only intended to provide background information and list of possible options which are not all inclusive so the city council can conduct a specific work session to discuss the matter at a later date. The work session of a city council meeting may not allow sufficient time for City Council to discuss, ask questions and provide direction to city staff.

Background

In 1972 the City prohibited the sale of alcoholic beverages in all zoning districts except the Light Industrial (“LI”) districts (which required an SUP) and Heavy Industrial (“HI”) districts (where sales were permitted by right). Presently, there are is no HI zoning district in the City. Subsequent to that time period the city has had two local option elections regarding the sale of alcoholic beverages and enacted several ordinance regarding the same.

In summary as result of the two local option elections approved by the voters of Farmers Branch the City is wet for the retail sale of beer and wine for off premise consumption; and for establishments that sell mixed beverages, beer and wine for on premise consumption (essentially bars since no food service is required). However the regulations and ordinances adopted prior to the local option elections restrict and limit the locations of such establishments.

Where alcoholic beverages may be sold in Farmers Branch

Before 1986, Farmers Branch was completely dry. The City passed its first local option election in 1986.

1986 Local Option Election:

Generally: The City conducted a local option election on October 25, 1986, in which voters approved a proposition authorizing mixed beverage sales for on-premises consumption. Approval of such a proposition authorizes the sale of mixed beverages, beer, and wine for on-premises consumption. The ballot proposition was **not** limited to sales in restaurants with a food and

beverage. This proposition allowed establishments which may be commonly referred to as bars since no food service is required.

However, the City, through the Comprehensive Zoning Ordinance (“CZO”), limits the location of the sale of alcoholic beverages for on-premises consumption to “qualifying restaurants” and “private clubs.”

“Qualifying Restaurant,” as defined in CZO Sec. 8-400-1, means “an existing or proposed eating establishment whose gross sale of food and non-alcoholic beverages shall constitute at least 60% of the establishment’s combined gross food, non-alcoholic, and alcoholic beverages for each quarterly reporting period”. “Restaurant” in CZO Sec 8-400 means a Qualifying Restaurant where the operator is the holder of a mixed beverage permit or a private club permit.

As a general premise, regardless of whether or not the sale of alcoholic beverages has been approved, restaurants without drive-in or drive through windows are allowed by right only in the Local Retail 1 (“LR-1”) and Local Retail 2 (“LR-2”) districts and upon approval of an SUP in the following zoning districts:

- Office (“O”)
- Commercial (“C”)
- Light Industrial (“LI”)
- Heavy Industrial (“HI”)
- Planned Development (“PD”)

A specific use permit for a Qualifying Restaurant (i.e. allowed to serve alcohol) may be issued only in an area zoned:

- Office (“O”)
- Local Retail 1 (“LR-1”)
- Local Retail 2 (“LR-2”);
- Commercial (“C”)
- Light Industrial (“LI”)
- Heavy Industrial (“HI”)
- Planned Development (“PD”)
- “any other zoning district where restaurants are a permitted use...” (Presently, there are no other zoning districts other than the ones listed above where restaurants are permitted by either by right or by SUP. City would need to review specific PD ordinances to determine whether restaurant use is allowed in the particular PD.)

No SUP can be issued for a Qualifying Restaurant located within 300 feet of a:

- detached single family residence
- single family zoned district
- church
- school (public or denominational)

- hospital, or
- developed city park (which parameters are to be determined by the city council).

Measurement of 300 foot rule is to be in accordance with state law (but CZO does not cite the applicable state law). The 300 foot rule does not apply to a Planned Development zoning district.

The 1986 Local Option Election did not authorize the sale of any alcoholic beverages for off-premises consumption.

May 2014 Local Option Election

Farmers Branch voters approved the sale of beer and wine for off-premises consumption in May 2014. Prior to the election, it was clarified that the City had since 1972 prohibited the sale of alcoholic beverages in all zoning districts except the Light Industrial (“LI”) districts (which required an SUP) and Heavy Industrial (“HI”) districts (where sales were permitted by right). Presently, there are is no HI zoning district in the City.

Subsequent to the May 2014 election, the City Council approved Ordinance No. 3283 establishing several beer and wine overlay districts in which retail establishments may sell beer and wine for off-premises consumption by right. The original restrictions regarding the LI and HI districts were, however, preserved.

Though the 300 foot distance rule is included in the CZO relating to SUP’s for qualifying restaurants, the City has not done the same for beer and wine off-premise retailers located in the beer and wine overlay zones.

TABC Chart

For informational purposes, below is how the TABC presently shows the City of Farmers Branch as far as its wet/dry status. As you can see, for on premise mixed beverage sales, it is showing the City as “all wet”. In other words, no new election would be required to allow establishments in the City that are not restaurants to serve mixed drinks, beer and wine for on premise consumption. Only a change in the City’s zoning regulations would be required to loosen up the current regulations requiring an SUP.

Dallas County: Farmers Branch W: B-Off, W-Off; PW: MB

Definitions:

Wet (W): The term "wet" when used with respect to a particular type of beverage sale respect in a given jurisdiction means that the entire jurisdiction, every square inch of it, is wet for that type of sale.

Partly Wet (PW): The term "partly wet" means that there are one or more parts of the jurisdiction in which a particular type of beverage sale is legal but there are other parts in that jurisdiction where that type of sale is not legal.

Dry: The term "dry" means the jurisdiction is dry throughout. No type of alcoholic beverage sales is permitted.

B-On: Sale of Beer for on premises consumption authorized. Not used to describe areas where sales for on-premises consumption can only take place under the authority of a MB or RM.

B-Off: Sale of Beer for off-premises consumption authorized

W-On: Sale of Wine for on-premises consumption authorized. Not used to describe areas where sales for on-premises consumption can only take place under the authority of a MB or RM.

W-Off: Sale of wine for off-premises consumption authorized.

DS-Off: Sale of distilled spirits for off-premises consumption authorized.

MB: Sale of mixed beverages authorized. Not used to describe areas where sale of mixed beverages only authorized in restaurants.

RM: Sale of mixed beverages authorized but only in restaurants.

Types of Permits:

Below is a chart showing various types of permits/licenses that could be issued in Farmers Branch and a brief summary of where establishments holding those permits/licenses may locate. Note that this table is limited to retail-type permits and does not include warehouse, manufacturing, or distilling permits/licenses:

Temporary Permits	
Caterer’s Permit (CB):	Permit authorizes Mixed Beverage Permittee to sell mixed beverages on a temporary place other than the premises for which the Mixed Beverage Permit is issued but only in “wet” areas for the sale of mixed beverages
Daily Temporary Mixed Beverage Permit (TB)	Permit authorizes the sale of mixed beverages for consumption on the premises for which the permit is issued and may be issued to the holder of a Mixed Beverage Permit for a picnic, celebration, or similar event. May also be issued to a political party or political association supporting a candidate for public office or a proposed amendment to the Texas Constitution or other ballot measure, to an organization formed for a specific charitable or civic purpose, to a fraternal organization in existence for over five years with a regular membership, or to a religious organization (organization limited to 10 temporary permits per calendar year)
Off-Premise Permits/Licenses	
Beer Retailer’s Off-Premise License (BF)	Restricted to Beer and Wine Overlay District by right; no on-premise consumption; sell beer to-go; can also sell wine 17% or less alcohol content
Wine & Beer Retailer’s Off-Premise Permit (BQ)	Restricted to Beer and Wine Overlay District by right; no on-premise consumption except during authorized tasting; sell beer, ale, malt liquor, and wine up to 17% alcohol content
Wine Only Package Store Permit (Q)	Restricted to Beer and Wine Overlay District by right; requires additional permit to hold tastings (Package Store Testing Permit – PS); no beer tasting; no on-premise consumption except for authorized tastings; sell only wine up to 24% alcohol content, malt liquor, and ale; can sell beer if also holding a BF.
On-Premise Permits/Licenses	
Beer Retailer’s On-Premises License (BE)	Allows sale of beer only for on-premise or off-premise consumption; because it allows on-premise consumption, CZO requires SUP and be conducted in association with a qualifying restaurants
Brewpub License (BP)	Must also hold a BG, MB, RM, or BE license/permit; because it allows on-premises consumption, CZO will require SUP and be conducted in qualifying restaurant
Wine & Beer Retailer’s Permit (BG)¹	May sell beer, ale, malt liquor, traditional port and sherry, wine not to exceed 14%; because it allows both off-premise and on-premise consumption, CZO will require SUP and be conducted in qualifying restaurant
Private Club Permits (N, NB, NE)	Requires SUP for any new Private Clubs. Private Clubs existing as of 10/6/86 are grandfathered, but must comply with 60% food service requirement under CZO §8-400-18.
Mixed Beverage Permit (MB) and Mixed Beverage Permit with Food and Beverage (RM)	Even with only an MB, CZO §8-400-10 requires SUP for service in qualifying restaurant and 60% or greater in sales of food and non-alcoholic beverages; may sell distilled spirits, beer, malt liquor, ale and wine for on-premise consumption only

¹ BG permit (beer and wine retailer’s permit which allows sale for on or off premise consumption) can fill growlers and customers may either drink it there or take it home. The growlers can be filled with any beer they carry not just the establishments beer.

Options and Considerations

In deciding what actions the city council may take the city council needs to decide and provide direction to staff as to: (i) what type of establishments are desired; (ii) when and where such establishments should be allowed; (iii) by what process whether by right or SUP; and (iv) any restrictions such a separation requirements from like establishments or schools, churches, hospitals, parks or other desired protected areas.

Consideration should also be given to whether there will be a proliferation of such establishments, and any undesired effects or unintended consequences. Remember once city grants zoning to allow a “bar” at a location it should be considered permanent unless the city rezones the area or changes the regulations in which case and existing use will continued until abandoned.

A specific work session or meeting could be conducted for city council to discuss, at which staff can answer questions and city council can provide direction.

List of possible actions (not all inclusive list).

1. City could lessen the percentage of non-alcoholic sales for qualifying restaurants.
2. City could enact overlay district in which “bars” may be located without regard to food service or with a lesser percentage of non-alcoholic beverage sales. Will need to add definition of “bars”.
3. Identify target areas or properties at which bars are allowed without regard to food service or with a lesser percentage of non-alcoholic beverage sales.
4. Enact regulation to allow location of establishments that derive more than 75% of its gross revenue from the sale of alcoholic beverages for on premise consumption. These regulations could be restricted to certain zoning districts or geographical areas, require a specific use permit and include separation requirements from other like establishments, churches, hospitals, schools, city parks or other protected areas. Texas Alcoholic Beverage Code allows city to enact regulations governing the location of bars. Will need to add definition of the qualifying establishment (“Bar”).
5. Allow establishments that derive more than 75% of its gross revenue from the sale of alcoholic beverages for on premise consumption in PD districts by right or by SUP.

Peter J Smith



City of Farmers Branch

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75234

Staff Report

File Number: 16-191

Agenda Date: 8/2/2016

Version: 1

Status: Study Session

In Control: City Council

File Type: Report

Agenda Number: A.7

Discuss agenda items for future City Council meetings.



City of Farmers Branch

Farmers Branch City Hall
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75234

Staff Report

File Number: 16-204

Agenda Date: 8/2/2016

Version: 1

Status: Ceremonial

In Control: City Council

File Type: Report

Agenda Number: C.1

Presentation by Mayor Phelps on behalf of the International Institute of Municipal Clerks (IIMC) award of the Certified Municipal Clerk designation to City Secretary Amy Piukana.

BACKGROUND:

The IIMC Certified Municipal Clerk Program is a professional nonprofit association that promotes continuing education and certification through university and college based institutes. The Certified Municipal Clerk program requires coursework of at least 200 hours in Public Management, Public Relations, Local Government and Election Law.

City Secretary Amy Piukana has fulfilled the education requirements and Mayor Phelps will present the Certified Municipal Clerk Certification.



City of Farmers Branch

Farmers Branch City Hall
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Farmers Branch, Texas
75234

Staff Report

File Number: 16-199

Agenda Date: 8/2/2016

Version: 1

Status: Ceremonial

In Control: City Council

File Type: Report

Agenda Number: C.2

Consider Board and Commission appointments; and take appropriate action.

BACKGROUND:

With the resignation of David Honnoll from the Planning and Zoning Commission and the resignation of Ernie Tiller from the Parks and Recreation Board, the City currently has two (2) vacancies. As vacancies occur, City Council may appoint members to fill any open positions(s) on a Board or Commission.

DISCUSSION:

Currently, the City has received eight (8) applications for the Planning and Zoning Commission. The following applicants have met all background requirements, and are eligible to serve:

- Marvin Burrows
- Robert Davis
- David McCool
- Ruben Rendon
- Alejandro Rojas
- David Merritt
- Robert Schies
- Tamara Cleghorn

The City has also received four (4) applications for the Parks and Recreation Board. The following applicants have met all background requirements, and are eligible to serve:

- Wanda Barker
- Alex Kaplinsky
- David Merritt
- Robert Schies

RECOMMENDATION:

City Administration recommends selecting one (1) Planning and Zoning Commission member and one (1) Parks and Recreation board member who are Farmers Branch residents, who have met all Board and Commissions background requirements, be appointed to to fill unexpired terms.

ATTACHMENTS:

1. Current Board Member List - Planning and Zoning Commission

2. Applications for Planning and Zoning Commission
3. Current Board Member List - Parks and Recreation Board
4. Applications for the Parks and Recreation Board

ACTION:

1. Move to appoint _____ on the Planning and Zoning Commission and appoint _____ on the Parks and Recreation Board.
2. Move to take no action and seek more applicants to fill the vacancy.

PLANNING AND ZONING COMMISSION

MEMBERS

1	Nancy Hardie
2	Bronson Blackson
3	<i>VACANT</i>
4	Jason O'Quinn
5	Tim Yarbrough
6	David Moore
7	Chris Brewer
8	Cory Plunk
9	Sergio De Los Santos

RECEIVED

MAY 16 2016

CITY SECRETARY'S OFFICE



FARMERS BRANCH

APPLICATION BOARDS AND COMMISSIONS

NAME: MARVIN BURROWS WORK NUMBER: 214-556-4716

ADDRESS: 3303 SCARLET OAK CT. HOME NUMBER: 469-360-9445

E-mail Address [REDACTED]

Spouse's Name (optional): LAURA "STAR"

Resident of Farmers Branch 33 years. Registered Voter? Yes # No

If less than 2 years: prior address Length

Occupation: SALES INTERIOR CONTRACT FURNISHINGS

Employer: FURNITURE MARKETING GROUP, INC.

Address (optional): 6100 WEST PLANO PARKWAY SUITE # 1400

If any previous Board or Commission experience (in any City), state details: NO

List memberships of any Civic Organizations: NONE OTHER THAN CHRIST UNITED METHODIST CHURCH

List any particular qualifications which you think might be beneficial in serving on a board GRADUATE ARCHITECT WITH A BACHELORS DEGREE IN ARCHITECTURE 76 UNIVERSITY OF HOUSTON - THESES IN URBAN PLANNING.

- CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON: ANIMAL SHELTER ADVISORY COMMITTEE (2 Year Term) METROCREST HOSPITAL AUTHORITY (2 Year Term) LIBRARY BOARD (2 Year Term) PARKS AND RECREATION BOARD (2 Year Term) X PLANNING AND ZONING COMMISSION (3 Year Term) SENIOR ADVISORY BOARD (MUST BE 50 YRS OF AGE OR OLDER) (2 Year Term) ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS (2 Year Term) HISTORICAL PRESERVATION AND RESTORATION BOARD (2 Year Term) INDUSTRIAL DEVELOPMENT CORPORATION (6 Year Term) HOUSING FINANCE CORPORATION (6 Year Term) VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT) (2 Year Term) COMMUNITY WATCH COMMITTEE (2 Year Term) FAMILY ADVISORY BOARD (3 Year Term) X SUSTAINABILITY COMMITTEE (3 Year Term)

SCANNED

AUG 07 2015



CITY MANAGER'S OFFICE

APPLICATION FOR APPOINTMENT TO BOARDS AND COMMISSIONS

SCANNED

AUG 07 2015

CITY MANAGER'S OFFICE

NAME: DAVID F. Mc COOL WORK NUMBER: 2149950930

ADDRESS: 14033 Tanglewood Drive FB HOME NUMBER: 4695227849

Spouse's Name (optional): KATHY

Resident of Farmers Branch 11 years. Registered Voter? Yes # [REDACTED]

If less than 2 years: prior address _____ Length _____

Occupation: CPA / Financial Planner

Employer: McCool Wealthcare Mgmt

Address: 3100 LBJ Freeway #1200, Dallas 75234

If any previous Board or Commission experience (in any City), state details:
Charter Member of Carrollton Signage Approval Board in the 1980's. Chairman of that committee

List memberships of any Civic Organizations:
Former member of C/FB Rotary Club. Former "Red Coat" with Metrocrest Chamber of Commerce.

List any particular qualifications which you think might be beneficial in serving on a board
Board of Governors Brookhaven Country Club since 2005. Current Chairman. Chairman 2008-2009. Chaired numerous BCC committees. Hobby is taking an idea and turning it into an event or a functioning committee.

CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON AND ORDER OF PREFERENCE:

- ANIMAL SHELTER ADVISORY COMMITTEE
- METROCREST HOSPITAL AUTHORITY
- LIBRARY BOARD
- PARKS AND RECREATION BOARD
- PLANNING AND ZONING COMMISSION
- SENIOR ADVISORY BOARD (MUST BE 55 YEARS OF AGE OR OLDER)
- ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS
- HISTORICAL PRESERVATION AND RESTORATION BOARD
- INDUSTRIAL DEVELOPMENT BOARD
- HOUSING FINANCE CORPORATION
- VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT)
- COMMUNITY WATCH COMMITTEE
- FAMILY ADVISORY BOARD
- OTHER _____

Seeking Ke-APP. ZBA



FARMERS BRANCH

SCANNED

MAY 09 2016

APPLICATION
BOARDS AND COMMISSIONS

CITY MANAGER'S OFFICE

NAME: Ruben Rendon Jr. WORK NUMBER: 972-968-5800
ADDRESS: 13240 Veronica Rd. HOME NUMBER: 972-243-4636
E-mail Address: [REDACTED]

Spouse's Name (optional): Norma

Resident of Farmers Branch 44 years. Registered Voter? Yes # _____ No

If less than 2 years: prior address _____ Length _____

Occupation: School Psychologist

Employer: Cambellton-F. Branch ISD

Address (optional): _____

If any previous Board or Commission experience (in any City), state details:
Pat Z For 11 years in Farmers Branch

List memberships of any Civic Organizations:

List any particular qualifications which you think might be beneficial in serving on a board
I have been a member of a State Board a School board
And The Finance Council at Mary Immaculate Church

CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON:

- ANIMAL SHELTER ADVISORY COMMITTEE (2 Year Term)
- METROCREST HOSPITAL AUTHORITY (2 Year Term)
- LIBRARY BOARD (2 Year Term)
- PARKS AND RECREATION BOARD (2 Year Term)
- PLANNING AND ZONING COMMISSION (3 Year Term)
- SENIOR ADVISORY BOARD (MUST BE 50 YRS OF AGE OR OLDER) (2 Year Term)
- ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS (2 Year Term)
- HISTORICAL PRESERVATION AND RESTORATION BOARD (2 Year Term)
- INDUSTRIAL DEVELOPMENT CORPORATION (6 Year Term)
- HOUSING FINANCE CORPORATION (6 Year Term)
- VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT) (2 Year Term)
- COMMUNITY WATCH COMMITTEE (2 Year Term)
- FAMILY ADVISORY BOARD (3 Year Term)
- SUSTAINABILITY COMMITTEE (3 Year Term)



FARMERS
BRANCH

RECEIVED

MAY 10 2016

CITY SECRETARY'S OFFICE

APPLICATION
BOARDS AND COMMISSIONS

NAME: Alejandro Rojas WORK NUMBER: 956-494-3373

ADDRESS: 3066 Amber Ln HOME NUMBER: ---

E-mail Address: [REDACTED]

Spouse's Name (optional): Abigail Rojas

Resident of Farmers Branch 2.5 years. Registered Voter? Yes # --- No

If less than 2 years: prior address _____ Length _____

Occupation: Consumer Banking

Employer: Citizens Bank

Address (optional): _____

If any previous Board or Commission experience (in any City), state details:
N/A

List memberships of any Civic Organizations:
Big Brother Big Sister Program

List any particular qualifications which you think might be beneficial in serving on a board
I work in consumer banking and have a background in finance and economics.

CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON:

- ANIMAL SHELTER ADVISORY COMMITTEE (2 Year Term)
- METROCREST HOSPITAL AUTHORITY (2 Year Term)
- LIBRARY BOARD (2 Year Term)
- PARKS AND RECREATION BOARD (2 Year Term)
- PLANNING AND ZONING COMMISSION (3 Year Term)
- SENIOR ADVISORY BOARD (MUST BE 50 YRS OF AGE OR OLDER) (2 Year Term)
- ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS (2 Year Term)
- HISTORICAL PRESERVATION AND RESTORATION BOARD (2 Year Term)
- INDUSTRIAL DEVELOPMENT CORPORATION (6 Year Term)
- HOUSING FINANCE CORPORATION (6 Year Term)
- VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT) (2 Year Term)
- COMMUNITY WATCH COMMITTEE (2 Year Term)
- FAMILY ADVISORY BOARD (3 Year Term)
- SUSTAINABILITY COMMITTEE (3 Year Term)



RECEIVED

JUL 01 2015

CITY MANAGER'S OFFICE

APPLICATION FOR APPOINTMENT TO BOARDS AND COMMISSIONS

NAME: TAMARA Cleghorn WORK NUMBER: _____
 ADDRESS: 14614 Cyprus Point Drive HOME NUMBER: [REDACTED]
 Spouse's Name (optional): DON
 Resident of Farmers Branch 25 years. Registered Voter Yes # [REDACTED]
 If less than 2 years: prior address _____ Length _____
 Occupation: Homemaker / Volunteer 24 years / Advertising 10 years
 Employer: _____
 Address: _____

If any previous Board or Commission experience (in any City), state details:

PLANNING + ZONING - FB 2000

List memberships of any Civic Organizations:

Junior League of Dallas, Certified Tour Ambassador, PTA Life Member, Jesuit Museum Docent, Dallas Children's Advocacy Center, Neighborhood Watch Organizer

List any particular qualifications which you think might be beneficial in serving on a board

Experienced multi-tasker w/ clear, concise verbal + written skills
good problem solver, ability to bring people together

CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON AND ORDER OF PREFERENCE:

- ANIMAL SHELTER ADVISORY COMMITTEE
- METROCREST HOSPITAL AUTHORITY
- 3 LIBRARY BOARD
- PARKS AND RECREATION BOARD
- 1 PLANNING AND ZONING COMMISSION
- SENIOR ADVISORY BOARD (MUST BE 55 YEARS OF AGE OR OLDER)
- ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS
- HISTORICAL PRESERVATION AND RESTORATION BOARD
- 2 INDUSTRIAL DEVELOPMENT BOARD ← Serve Both Boards
- HOUSING FINANCE CORPORATION
- VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT)
- COMMUNITY WATCH COMMITTEE
- FAMILY ADVISORY BOARD
- OTHER Economic Development Board?

Panel baker and / Bond Committee

PARKS AND RECREATION BOARD

MEMBERS

1	Sarah Langhorst
2	Mike Hawkins
3	Adriane Young
4	Jan Wooldridge
5	Robert Dye
6	Peggy Smith
7	Robert Stewart
8	Pat Thompson
9	Nic Rady
10	Barbara Leedy
11	<i>VACANT</i>
	Roy Morales (Emeritus)
	Margaret Young (Emeritus)

RECEIVED

MAY 10 2016

CITY SECRETARY'S OFFICE



FARMERS
BRANCH

APPLICATION
BOARDS AND COMMISSIONS

NAME: Wanda Barker WORK NUMBER: 972-968-4315

ADDRESS: 2838 Barmine Way HOME NUMBER: [REDACTED]

E-mail Address: [REDACTED]

Spouse's Name (optional): _____

Resident of Farmers Branch 46 years. Registered Voter? Yes # No

If less than 2 years: prior address _____ Length _____

Occupation: Secretary

Employer: C-FBI SD

Address (optional): 2427 Carnick St.

If any previous Board or Commission experience (in any City), state details:
Community Watch

List memberships of any Civic Organizations:
FBI Citizens Academy - Dept of Public Safety Citizens Academy
FBranch Citizens Academy - Carrollton Police Citizens Academy

List any particular qualifications which you think might be beneficial in serving on a board
8-10 years on Community Watch - C.O.P. Program

CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON:

- ANIMAL SHELTER ADVISORY COMMITTEE (2 Year Term)
- METROCREST HOSPITAL AUTHORITY (2 Year Term)
- LIBRARY BOARD (2 Year Term)
- PARKS AND RECREATION BOARD (2 Year Term)
- PLANNING AND ZONING COMMISSION (3 Year Term)
- SENIOR ADVISORY BOARD (MUST BE 50 YRS OF AGE OR OLDER) (2 Year Term)
- ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS (2 Year Term)
- HISTORICAL PRESERVATION AND RESTORATION BOARD (2 Year Term)
- INDUSTRIAL DEVELOPMENT CORPORATION (6 Year Term)
- HOUSING FINANCE CORPORATION (6 Year Term)
- VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT) (2 Year Term)
- COMMUNITY WATCH COMMITTEE (2 Year Term)
- FAMILY ADVISORY BOARD (3 Year Term)
- SUSTAINABILITY COMMITTEE (3 Year Term)

RECEIVED

MAY 10 2016



CITY MANAGER'S OFFICE

APPLICATION FOR APPOINTMENT TO BOARDS AND COMMISSIONS

NAME: ALEX KAPLINSKY WORK NUMBER: 972-241-9440
ADDRESS: 13650 LITTLECREST DR HOME NUMBER: 972-243-3655

Spouse's Name (optional): YVETTE
Resident of Farmers Branch 45 years. Registered Voter? Yes # [REDACTED] No

If less than 2 years: prior address _____ Length _____

Occupation: INDEPENDENT INSURANCE

Employer: KAPLINSKY INSURANCE SERVICES

Address: 13650 LITTLECREST DR FARMERS BRANCH

If any previous Board or Commission experience (in any City), state details:
N/A

List memberships of any Civic Organizations: N/A

List any particular qualifications which you think might be beneficial in serving on a board
BBA - SMC, MBA - Our Lady of the Lake, 23 years Telom Hardware Sales, 8 years Consumer Product Testing, RAISED ARABIAN HORSES for 34 years.

CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON AND ORDER OF PREFERENCE:

- ANIMAL SHELTER ADVISORY COMMITTEE
- METROCREST HOSPITAL AUTHORITY
- LIBRARY BOARD
- PARKS AND RECREATION BOARD
- PLANNING AND ZONING COMMISSION
- SENIOR ADVISORY BOARD (MUST BE 55 YEARS OF AGE OR OLDER)
- ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS
- HISTORICAL PRESERVATION AND RESTORATION BOARD
- INDUSTRIAL DEVELOPMENT BOARD
- HOUSING FINANCE CORPORATION
- VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT)
- COMMUNITY WATCH COMMITTEE
- FAMILY ADVISORY BOARD
- OTHER _____



APPLICATION FOR APPOINTMENT TO BOARDS AND COMMISSIONS OFFICE

NAME: DAVID MERRITT WORK NUMBER: [REDACTED]

ADDRESS: 3303 HIGHLAND MEADOW DRIVE FARMERS BRANCH TX 75299 PHONE NUMBER: 972 406 1601

Spouse's Name (optional) DANA MERRITT

Resident of Farmers Branch 27 years. Registered Voter? (Yes) [REDACTED] No

If less than 2 years: prior address _____ Length _____

Occupation: IT CONSULTANT

Employer: FEDERAL RESERVE BANK OF DALLAS

Address: 2200 NORTH PEARL STREET DALLAS TEXAS 75201

If any previous Board or Commission experience (in any City), state details:

F.B. PLANNING AND ZONING COMMISSION - ALTERNATE COMMISSIONER AND CHAIRMAN 1990-2006

F.B. COMMUNITY SCHOOL BOARD RELATIONS COMMITTEE - MEMBER

List memberships of any Civic Organizations: CHRIST UNITED METHODIST CHURCH - LOCAL MISSIONS (SUPPORTING METROCREST SOCIAL SERVICES) AS WELL AS SUPPORTING LOCAL YOUTH AND YOUNG ADULTS VIA THE APPALACHIA SERVICE PROJECT.

List any particular qualifications which you think might be beneficial in serving on a board I am a PROJECT MANAGEMENT PROFESSIONAL CERTIFIED BY PROJECT MANAGEMENT INSTITUTE

I ALSO HOLD PROFESSIONAL CERTIFICATIONS IN RISK INFORMATION SYSTEMS AND INFORMATION SECURITY FROM ISACA. ADDITIONALLY MUCH OF MY CAREER HAS BEEN FOCUSED ON BUSINESS ANALYSIS AND PROCESS IMPROVEMENT.

CHECK WHICH BOARD(S) YOU WOULD LIKE TO SERVE ON AND ORDER OF PREFERENCE:

- ANIMAL SHELTER ADVISORY COMMITTEE
METROCREST HOSPITAL AUTHORITY
LIBRARY BOARD
1 PARKS AND RECREATION BOARD
2 PLANNING AND ZONING COMMISSION
SENIOR ADVISORY BOARD (MUST BE 55 YEARS OF AGE OR OLDER)
ZONING BOARD OF ADJUSTMENT AND BUILDING CODE BOARD OF APPEALS
HISTORICAL PRESERVATION AND RESTORATION BOARD
INDUSTRIAL DEVELOPMENT BOARD
HOUSING FINANCE CORPORATION
VALWOOD IMPROVEMENT AUTHORITY (MUST BE LANDOWNER IN VALWOOD IMPROVEMENT DISTRICT)
COMMUNITY WATCH COMMITTEE
FAMILY ADVISORY BOARD
OTHER

Cleared Background check for Whitman 1/13/14



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: 16-192

Agenda Date: 8/2/2016

Version: 1

Status: Consent Agenda

In Control: City Council

File Type: Report

Agenda Number: G.1

Consider approving minutes of the regular City Council meeting held on July 12, 2016; and take appropriate action.



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Meeting Minutes

City Council

Tuesday, July 12, 2016

6:00 PM

Council Chambers

Study Session Meeting to be held at 3:00 PM in the Study Session Room

- Presiding:** 1 - Mayor Bob Phelps
- Present:** 5 - Mayor Pro Tem Harold Froehlich, Council Member John Norwood, Council Member Terry Lynne, Deputy Mayor Pro Tem Ana Reyes, Council Member Mike Bomgardner
- Staff:** 14 - Charles Cox City Manager, John Land Deputy City Manager, Amy Piukana City Secretary, Braden Metcalf City Attorney, David Hale Deputy Police Chief, LaJeana Thomas Executive Assistant Administration, Stephanie Hall Economic Development Assistant, Andy Gillies Community Services Director, Randy Walhood Public Works Director, Hugh Pender Building Official, Shane Davis Environmental Services and Solid Waste Manager, Steve Parker Fire Chief, Tim Dedear Deputy Fire Chief/Fire Marshal, Brian Beasley Human Resource Director

A. **STUDY SESSION**

Mayor Phelps called the meeting to order at 3:00 p.m.

A.1 [16-174](#) **Discuss regular City Council meeting agenda items.**

Council Member Bomgardner asked about Agenda Item G.6, the Standby Letter of Credit. Council Member Bomgardner asked for clarification regarding the 1% fee to establish a letter of credit and asked if the money would be used. City Manager Charles Cox provided background regarding this item noting the City owns a landfill in Lewisville and the city is required to provide assurance that the city will take care of it once it's closed. Once the City closes the landfill, they have to secure and track environmental issues for up to 30 years. He further explained as part of the financial assurance, the

city must have a percentage on balance sheet to cover costs, and a standby letter of credit will be required. He noted the standby letter of credit fee of 1% is reasonable and customary, noting many institutions are unaware of these processes.

Mayor Pro Tem Froehlich asked for clarification regarding Agenda Item I.1, Resolution No. 2016-060, regarding increasing the number of board members on the Sustainability Committee. Council Member Reyes noted she requested this item to allow for greater citizen participation. City Manager Charles Cox explained Brookhaven College reached out to the City asking that an ex-officio member non-voting member be created.

Council Member Lynne asked for clarification regarding Agenda Item G.4, authorizing the purchase of a grapple brush truck. Mr. Lynne asked if the funds requested have been budgeted. Mr. Cox confirmed these funds have been budgeted.

A.2 [16-164](#) Receive an update regarding the City Marshal Program.

Court Administrator Kevin Barrett briefed City Council regarding the status of the new City Marshal's Office. Mr. Barrett explained the analysis of a study conducted in 2014 in regards to the Warrant Officer position. He noted Ordinance No. 3324, was approved April 7, 2015, for the creation of a new law enforcement agency. The Marshal's Office passed the Texas Commission on Law Enforcement audit in January 2016. Mr. Barrett introduced Chief Marshal Jesus Ramon Jr., Deputy Marshal Nicole Rodriguez-Terrell and Deputy Marshal Gary Elkins. Mr. Barrett noted the 2016 Warrant Roundup has been successful with a 47% increase in the number of warrant clearances during the roundup. He further stated the Marshal's Office has worked with Farmers Branch Police Department eliminating the need for overtime to be used by the Police Department. He noted the total number of warrants is decreasing correlating to an increase in court revenues. Mr. Barrett reviewed Municipal Court Activity noting trends from 2015 verses 2016 show a decline of 15% in the total number of cases filed, an increase of 2% case dispositions and an increase output despite decreased input. Mr. Barret noted Courts are adapting and finding different methods of dispositions, fewer warrants were issued however; more warrants are being cleared. Mr. Barrett noted as a result of changes, we have seen a direct impact on revenue despite a substantial decrease in filings, warrant issuance and alternate means of disposition. He noted in the past five (5) months recorded, revenue has increased 13% totaling \$165,500. Mr. Barrett explained the Marshal's Office is accomplishing its main goal by decreasing the back log of warrants.

Council discussed outstanding warrants and final dispositions on old warrants. Mr. Barrett explained these are provided in the end of year report, noting some warrants date back to 1997. He further stated the majority of warrants are from within the past 10 years, noting these warrants are in collections.

Council Member Norwood asked staff to review the backlog to allow for a more realistic metric system. He noted this could be a result from a short time period. Mr. Cox explained the program costs \$250,000, and over the past five (5) months revenue has increased 13% totaling \$165,500. Council Member Lynne asked if the \$165,500 includes collection fees. Mr. Cox replied the City doesn't pay collection fees, the

defendant is responsible for all collection fees. Council Member Bomgardner urged staff to be conservative in all areas in government when expressing expectations of revenue and expense in regards to new programs.

A.3 [16-186](#) Review and discuss Code Enforcement Efforts.

Building Official Hugh Pender briefed City Council regarding this item. Mr. Pender explained the City has begun customer service initiatives by teaming up with Human Resources to re-emphasize customer service training, increasing personal contact, rewriting the existing correction notice, creating a door notification system, staggering Municipal Court dockets, utilizing existing alliance with Metrocrest Services for persons in need of assistance, added a Code Corner to the citizen's newsletters, and added staffing enhancements to provide additional coverage during evenings and weekends. Mr. Pender explained the City has implemented a cooperative compliance approach, where the Code Enforcement Officers discuss and educate property owners on how to abate the violation, and are able to assist the property owner with resources to abate the violation. Additional Code Enforcement Metrics are being researched such as annual property condition surveys which would provide reports on properties that have multiple violations in a calendar year to provide enhanced enforcement in those areas.

Council Member Bomgardner noted the City of Carrollton has a program that waives the permit fee for areas that are targeted for improvements. Mr. Pender replied City of Carrollton has a CDBG grant that offers fees to be waived, however; the City works with Metrocrest on these cases, and noted more opportunities could be explored.

Mr. Pender reviewed the Brush and Bulky item issues the City has had, noting residents place brush and bulky items by the curb, noting these items are only picked up certain days of the week. He explained we are not aggressive on enforcing these issues, however; we do manage complaints. Mr. Cox asked if we need to approach with education or a more aggressive style.

Council Member Bomgardner recommended utilizing mass emails or a notification system when storms occur to allow for resident education of when bulk items are picked up. Mayor Pro Tem Froehlich noted furniture and trash are different issues. Council Member Lynne suggested having pickup service.

Mr. Pender noted September 1st, he plans to provide a courtesy notice to residents that are storing carts in a visible location. Mr. Cox asked if Council wants a plan of action sequence by October 1st regarding the screening requirement. Mr. Cox asked if cart pickup is an option after the second notice, or if Council prefers having the Sustainability Committee evaluate. Mr. Cox noted the deadline is contained within the Ordinance, you can amend the Ordinance to change the deadline.

Mayor Pro Tem Froehlich asked for public education with the process. Council Member Bomgardner suggested having a reasonable deadline, providing a warning notice with door hanger and then allowing a certain amount a number of days to obtain compliance. Council Member Bomgardner suggested if still non-compliant, consider utilizing

citations. Council Member Lynne asked about the cost of utilizing a screening structure. Mr. Pender replied \$75.00 is the estimated cost to construct a screening enclosure.

A.4 [16-187](#) Receive an update regarding the status of State of Texas vs Jeff Fuller.

City Attorney Braden Metcalf briefed City Council regarding this item. Mr. Metcalf noted the trial was rescheduled to September 8, 2016. He further stated there are two (2) charges, the first is theft \$500-\$1,500, noting a second charge was added, abuse of official capacity. Council Member Lynne asked when the case was originally filed. Mr. Metcalf replied the case was initially filed February, 2015. Council Member Reyes asked how many times the trial has been delayed. Mr. Metcalf replied he is unaware of delay numbers, noting the time frame is typical for these types of cases.

Council Member Lynne asked if the City is able to push the trial forward. Mr. Cox explained the history with this case to Mr. Metcalf, noting Mr. Fuller had rescheduled a prior case due to medical issues. Mr. Metcalf explained he will let the District Attorney's Office know our position to proceed.

Council Member Lynne asked if the City incurs cost every time the case is postponed. Mr. Cox explained the District Attorney's Office would pay any delay costs. Mr. Cox noted if the District Attorney's Office makes a plea deal, the item would come back to City Council. Mr. Metcalf explained the District Attorney's office makes the final decision.

A.5 [16-189](#) Receive an update regarding Farmers Branch Police Department response in support of the Dallas Police Department and an update on the security improvements at the Justice Center.

Deputy Police Chief David Hale provided an update regarding Farmers Branch Police Department response in support of the Dallas Police Department and provided an update regarding the security improvements at the Justice Center. Deputy Chief Hale explained many Farmers Branch Police Officers contacted the City immediately, stating they are available to assist with the situation in Dallas. Chief Hale noted the following steps of action were taken in response:

- 12 FBPD Officers were brought in the night of the shooting, all volunteered.
- Sent to Dallas PD Northwest Substation to provide building security.
- Four (4) stayed in the City and doubled up as two officer units.
- Friday evening through Monday morning all shifts rode as two (2) officer units doubling our manpower.
- A two (2) officer unit is currently being rotated in the City of Dallas at the crime scene to assist with perimeter security. This is expected through Wednesday.
- Answering all calls at Farmers Branch DART light rail station to lessen the burden on DART PD.
- Ten (10) additional security cameras have been added to the perimeter of the Justice Center to enhance security

- Weekly meetings held with Facilities and Information Services to provide project continuity.
- Solicited a quote from Brinkley Sargent Wiginton Architects to provide design work. Quote expected this week.

Deputy Mayor Pro Tem Reyes asked if the two (2) officers per unit is the sign of the future for Police Department patrol. Deputy Chief Hale explained this is temporary, and not necessary for future patrol.

Deputy Mayor Pro Tem Reyes asked if the Police Department is prepared for local protests and have the proper riot gear necessary for protection. Deputy Chief Hale responded the City is well equipped and has trained officers with protest experience.

Council Member Lynne asked if the attitude of Farmers Branch officers has been affected by the situation in Dallas. Deputy Chief Hale responded explaining our officers are grateful for the public response and gifts, noting the City is prepared for these types of situations and explained the Dallas situation was very disturbing.

Council Member Lynne asked if distance from the building could be added to a security plan during a protest. Deputy Chief Hale explained we must align with constitutional rights for open meetings. Mr. Cox explained the City has hired a security firm who reviewed City facilities and provided recommendations. Mr. Cox explained City Council will receive a presentation in August regarding security changes as an executive session item. Deputy Mayor Pro Tem Reyes asked if Harris Radios are working properly. Deputy Chief Hale replied he met with Harris vendors this morning and complaints are minimal. Deputy Mayor Pro Tem Reyes asked if the Police Department has any special needs or requests from City Council in regards to safety items. Deputy Chief Hale thanked City Council for their support and the communities support, noting the Police Department has no special needs at this time.

A.6 [16-175](#) Discuss agenda items for future City Council meetings.

Mayor Pro Tem Froehlich asked for an update regarding the Margaret Young Natatorium tile replacement. Council Member Norwood asked that City Council be notified and residents also be notified of any special accommodations regarding street bond items, such as the Primrose Project. Council Member Norwood asked if the Comp Study would be presented at the first meeting in August. Mr. Cox replied it will be presented at the August 2, 2016 City Council meeting.

Mayor Phelps recessed for a break Session at 4:53 p.m. and reconvened into Executive Session at 5:07 p.m.

J. EXECUTIVE SESSION

- J.1 [16-183](#) Council may convene into a closed executive session pursuant to Section 551.072 of the Texas Government Code to deliberate regarding:**

- Discuss the purchase, exchange, lease, or sale of real property located south of Valwood, north of Valley View, west of Webb Chapel, east of Josey Lane.
- Discuss the purchase, exchange, lease, or sale of real property located south of Valwood, north of Valley View, west of Marsh Lane, east of I35.

Council may convene into a closed executive session pursuant to Section 551.071 of the Texas Government Code to deliberate regarding:

- Consultation with City Attorney regarding Texas Commission on Environmental Quality (TCEQ) Report No. 119885 relating to TCEQ Permit Nos. 5383 and 5383A to Town of Addison for use of water in Farmers Branch Creek, pending TCEQ Complaint regarding Farmers Branch Creek.

Mayor Phelps recessed from closed executive session and called the regular meeting to order at 6:03 p.m.

B. INVOCATION & PLEDGE OF ALLEGIANCE

Farmers Branch Campus Minister Tim Ketchersid provided the invocation. Council Member Lynne led the Pledge of Allegiance.

C. CEREMONIAL ITEMS

- C.1 [16-179](#) **Presentation of the Regional Cooperation Award received from North Central Texas Council of Governments to City of Farmers Branch for the North Texas Emergency Communications Center (NTECC) Project.**

Mayor Phelps introduced Fire Chief Steve Parker and Deputy Police Chief David Hale who were in attendance to receive the NCTCOG Regional Cooperation Award on behalf of City of Farmers Branch for the NTECC Project.

- C.2 [16-181](#) **Presentation to the Farmers Branch Economic Development and Tourism Department for the Certificate of Achievement for Economic Excellence Award from the Texas Economic Development Council.**

Mayor Phelps recognized Deputy City Manager John Land, Economic Development Manager Allison Cook, and Economic Development Assistant Stephanie Hall from the Farmers Branch Economic Development and Tourism Department to receive the Certificate of Achievement for Economic Excellence Award.

- C.3 [16-182](#) **Presentation of a service award to Randy Walhood for fifteen years (15) of service at City of Farmers Branch.**

Mayor Phelps recognized Public Works Director Randy Walhood for his fifteen (15) years of service at City of Farmers Branch.

C.4 [16-184](#) Consider Board and Commission appointments; and take appropriate action.

Motion made by Council Member Norwood to appoint Naomi Fuls as alternate to Senior Advisory Board. Motion Seconded by Council Member Lynne. Motion approved by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

Motion made by Mayor Pro Tem Froehlich to appoint Robin Bernier to the Zoning Board of Adjustment/Code Board of Appeals. Motion seconded by Council Member Lynne. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

D. REPORT ON STUDY SESSION ITEMS

Council Member Norwood provided an update regarding Study Session items.

E. CITY MANAGER'S REPORT AND ITEMS OF COMMUNITY INTEREST

City Manager Charles Cox provided the following announcements:

In the wake of last week's horrific tragedy in downtown Dallas, it's hard to find glimmers of hope. However, we saw a big one over the weekend when a number of citizens in this community (including quite a few City employees) took it upon themselves to arrange a fundraiser for the family of Dallas Police Sergeant Michael Smith. One of the five officers killed last Thursday night. Sergeant Smith and his family have close ties to the Farmers Branch community. I am very pleased to report that the response was overwhelming as the event raised more than \$37,000 for Heidi Smith and their two daughters.

The Taste and Tunes event will have a variety of food trucks will be on hand during the event from 6 until 9 p.m. that evening. Admission is free. The series concludes July 21 with the Texas sounds of "Lone Star Attitude." Visit fbspecialevents.com.

The Council-appointed Citizen Bond Committee is inviting residents to one of two – or both – "Listening Meetings" coming up next week on Tuesday, July 19 at 2 p.m. at the Senior Center and at 7 p.m. at the Community Recreation Center. The Committee is hoping to get insight from residents on their preferences for possible bond issues for a 2017 ballot and will offer spot polling at the meetings. For more information, visit farmersbranchtx.gov/bond.

Anyone wanting to find a new best friend has a golden opportunity on Clear the Shelter Day, Saturday, July 23 when pet adoption fees will be waived at the Farmers Branch Animal Adoption Center. Held in association with more than 50 shelters across North Texas, the

annual event is designed to increase awareness and get animals adopted. Find out more by calling 972.919.8770.

Congratulations to John Land on his promotion from Managing Director to Deputy City Manager. I can think of no one better suited to help keep this organization moving in the right direction. You all know that John has deep roots in Farmers Branch and cares deeply about this community. This natural progression of his responsibilities aligns with our priorities going forward. Residents can sign up for eNews at farmersbranchtx.gov to have current City news and information delivered directly to your eMail box.

F. CITIZEN COMMENTS

There was no one that wished to speak under citizen comments.

G. CONSENT ITEMS

- G.1** [16-176](#) **Consider approving minutes of the regular City Council meeting held on June 21, 2016; and take appropriate action.**
- G.2** [16-177](#) **Consider excusing the absence of Mayor Bob Phelps from the June 21, 2016, regular City Council meeting; and take appropriate action.**
- G.3** [16-185](#) **Consider rescheduling the January 2017 City Council meeting dates; and take appropriate action.**
- G.4** [R2016-061](#) **Consider adopting Resolution No. 2016-061 authorizing the City Manager to approve the Buy Board purchase of one (1) replacement grapple brush truck for the Public Works Solid Waste Division in an amount not to exceed \$170,919 from MHC Kenworth; and take appropriate action.**
- G.5** [R2016-062](#) **Consider adopting Resolution No. 2016-062 authorizing the City Manager to approve the Buy Board purchase of one (1) replacement vaxcavator trailer for the Public Works Utilities Division in an amount not to exceed \$70,000 from Vermeer Texas-Louisiana; and take appropriate action.**
- G.6** [R2016-063](#) **Consider approving Resolution No. 2016-063 authorizing the City Manager to execute an Application and Agreement for an Irrevocable Standby Letter of Credit with JPMorgan Chase, N.A.; and take appropriate action.**
- G.7** [R2016-064](#) **Consider approving Resolution No. 2016-064 awarding unit price bids for the annual purchase of chemicals and fertilizers for the Parks and Recreation Department; and take appropriate action.**

Motion made by Mayor Pro Tem Froehlich to approve Consent Items G.1 through G.7, as presented. Motion seconded by Council Member Norwood. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

H. PUBLIC HEARINGS

H.1 [ORD-3378](#) **Conduct a public hearing and consider adopting Ordinance No. 3378 to repeal and terminate the existing Specific Use Permit.**

Community Services Director Andy Gillies briefed City Council regarding this item. Mr. Gillies noted a SUP was approved for a natural gas well site on approximately 4.5 acre Tract on 11500 Mathis Drive. This site is zoned Planned Development District 88 (PD-88), also known as Mercer Crossing Form-Based Code. The City approved an amendment to PD-99 establishing the development of a multi-family community to the west of this site. The existing property owner, Pillar Income, has requested this Gas Well SUP be repealed and terminated.

Mayor Phelps opened the public hearing. There was no one present that wished to speak.

Motion made by Mayor Pro Tem Froehlich to close the public hearing. Motion seconded by Council Member Bomgardner. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

Motion made by Council Member Reyes to approve Ordinance No. 3378, as presented. Motion seconded by Council Member Lynne. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

H.2 [ORD-3379](#) **Conduct a public hearing and consider adopting Ordinance No. 3379 to repeal and terminate the existing Specific Use Permit allowing a gas well drilling facility at 12651 Mercer Parkway; and take appropriate action.**

Community Services Director Andy Gillies briefed City Council regarding this item. Mr. Gillies noted earlier this year Centurion American proposed a new master planned community for approximately 268 acres west of Mercer Crossing Lake. He further explained this new community, known as Planned Development No. 99 (PD-99) was approved by the City with the adoption of Ordinance No. 3359. Mr. Gillies explained the approved conceptual site plan for this new community included a wide variety of new residential development on the west side of Luna Road, including this 4.2 acre site allowing a future gas well. He further stated in preparation of this new residential development,

Centurion American is now requesting this existing Specific Use Permit be repealed and terminated. Mr. Gillies explained the repeal of this SUP, as outlined in Ordinance No. 3129, will protect these new residential land uses from potential industrial activity.

Mayor Phelps opened the public hearing. There was no one present that wished to speak.

Motion made by Council Member Lynne to close the public hearing. Motion seconded by Council Member Bomgardner.

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

Motion made by Council Member Bomgardner to adopt Ordinance No. 3379, as presented. Motion seconded by Council Member Norwood. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

H.3 [ORD-3380](#) Conduct a public hearing and consider adopting Ordinance No. 3380 granting Crown Castle USA a Specific Use Permit to replace the expired Interim SUP for the existing cellular monopole tower located at 4515 LBJ Freeway; and take appropriate action.

Community Services Director Andy Gillies briefed City Council regarding this item. Mr. Gillies noted this site is located within Planned Development No. 40 (PD-40) which requires all telecommunication towers to obtain a Specific Use Permit. Mr. Gillies explained the current Interim Specific Use Permit (Ordinance 2581) was for a period of 10 years and expired on January 08, 2011. He noted the applicant, Crown Castle, is requesting a new Specific Use Permit to replace the expired SUP and to allow continued telecommunications operations at this site for as long as the property owner allows.

Mayor Phelps opened the public hearing. There was no one present that wished to speak.

Motion made by Mayor Pro Tem Froehlich to close the public hearing. Motion seconded by Deputy Mayor Pro Tem Reyes. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

Motion made by Council Member Bomgardner to approve Ordinance No. 3380. Motion seconded by Mayor Pro Tem Froehlich. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

I. REGULAR AGENDA ITEMS

- I.1 [R2016-060](#) Consider approving Resolution No. 2016-060 amending Resolution No. 2016-037 by establishing the number of members, providing for an ex-officio member, and appointing a member to the Sustainability Committee; and take appropriate action.**

Council Member Norwood moved to approve Resolution No. 2016-060, with the amendment to appoint an ex-officio member to the Sustainability Committee. Motion seconded by Council Member Bomgardner. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

J. EXECUTIVE SESSION

- J.1 [16-183](#) Council may convene into a closed executive session pursuant to Section 551.072 of the Texas Government Code to deliberate regarding:**
- **Discuss the purchase, exchange, lease, or sale of real property located south of Valwood, north of Valley View, west of Webb Chapel, east of Josey Lane.**
 - **Discuss the purchase, exchange, lease, or sale of real property located south of Valwood, north of Valley View, west of Marsh Lane, east of I35.**

Council may convene into a closed executive session pursuant to Section 551.071 of the Texas Government Code to deliberate regarding:

- **Consultation with City Attorney regarding Texas Commission on Environmental Quality (TCEQ) Report No. 119885 relating to TCEQ Permit Nos. 5383 and 5383A to Town of Addison for use of water in Farmers Branch Creek, pending TCEQ Complaint regarding Farmers Branch Creek.**

K. RECONVENE INTO REGULAR SESSION AND TAKE ANY ACTION NECESSARY AS A RESULT OF THE CLOSED SESSION

Council Member Lynne made a motion that the City Manager be authorized to negotiate and sign contracts and such other documents that are reasonable and necessary to sell to the Farmers Branch Local Government Corporation for the purpose of resale to Omar Garcia and wife, Olivia Garcia and/or assigns the property described as Lot 1, Block 7, Johnston Park Addition, First Installment, City of Farmers Branch, Texas, more commonly known as 3107 Longmeade, for a purchase and sales price of not less than \$105,000.00, with the resale of said property to be subject to a restriction agreement requiring

construction of a single family residence of not less than 2800 square feet of air conditioned space with an assessed value of the property upon completion of construction, inclusive of both land and improvements, to be not less than \$500,000. Motion seconded by Deputy Mayor Pro Tem Reyes. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

Council Member Bomgardner moved that the City Manager be authorized to take such action on behalf of the City as may be reasonable and necessary to purchase, or authorize the purchase of Lot 36, Valley View Addition No. 3, an addition to the City of Farmers Branch, Texas, also known as 2625 Dixiana to sign, authorize the City's agent to sign such other agreements, documents, and any amendments thereto, as the City Manager in consultation with the City Attorney, deems reasonable and necessary with respect to the closing of said transaction. Motion seconded by Mayor Pro Tem Froehlich. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

L. ADJOURNMENT

Mayor Pro Tem Froehlich made a motion to adjourn the meeting at 6:55 p.m. Motion seconded by Council Member Bomgardner. Motion prevailed by the following vote:

Aye: 5 - Mayor Pro Tem Froehlich, Deputy Mayor Pro Tem Reyes, Council Member Norwood, Council Member Bomgardner, Council Member Lynne

The meeting adjourned at 6:56 p.m.

Mayor

ATTEST:

City Secretary



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-055

Agenda Date: 8/2/2016

Version: 1

Status: Consent Agenda

In Control: City Council

File Type: Resolution

Agenda Number: G.2

Consider approving Resolution No. 2016-055, re-appointing Faye Moses Wilkins to the DART Board of Directors; and take appropriate action.

BACKGROUND:

Members of DART's Board of Directors serve staggered two-year terms pursuant to Section 452.578 of the Texas Transportation Code. Faye Moses Wilkins was appointed to represent the City of Farmers Branch in 2014 and has recently been elected Chair of the DART Board. With her term of office expiring June 30, 2016, Ms. Wilkins is seeking reappointment. This item was tabled from the June 10, 2016, City Council meeting in order to allow Ms. Wilkins to possibly meet all City Council members. Ms. Wilkins unfortunately is out of town June 21st but has agreed to attend a City Council meeting in the near future.

POSSIBLE COUNCIL ACTION:

1. I move to approve reappointing Faye Moses Wilkins to DART's Board of Directors for a term expiring June 30, 2018.
2. I move to approve Resolution No. 2016-055, with modifications.
3. I move to table the issue for further study or take no action.

ATTACHMENTS:

1. Resolution No. 2016-055
2. Dart Letter



RESOLUTION NO. 2016-055

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, APPOINTING A SHARED MEMBER TO SERVE ON THE DALLAS AREA RAPID TRANSIT (DART) BOARD OF DIRECTORS; PROVIDING AN EFFECTIVE DATE

WHEREAS, on August 23, 2011 the DART Board of Directors approved a reapportionment plan in Resolution No. 110089 pairing the City of Plano and the City of Farmers Branch for purposes of selection of a representative to the DART Board of Directors; and

WHEREAS, as required by Section 452.578, the Board of Directors has a plan for filling vacancies following the reapportionment to ensure that each municipality maintains the representation to which it is originally entitled; and

WHEREAS, the City Council finds it to be in the public interest of the citizens of Farmers Branch to join with the City of Plano in making an appointment to the DART Board of Directors.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THAT:

SECTION 1. The City of Farmers Branch concurs with and concurs the City of Plano in the appointment of Faye Moses Wilkins to serve on the Dallas Area Rapid Transit Board of Directors for a term ending on June 30, 2018.

SECTION 2. This Resolution shall be effective immediately upon its approval.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THIS 2ND DAY OF AUGUST, 2016.

ATTEST:

APPROVED:

Amy M. Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

Peter G. Smith, City Attorney
(kbl:5/5/14:65980)



Dallas Area Rapid Transit
P.O. Box 660163
Dallas, Texas 75266-0163
214/749-3278

May 5, 2016

Ms. Amy Piukana
City Secretary
City of Farmers Branch
13000 William Dodson Parkway
Farmers Branch, Texas 75234

Re: Reappointment of City of Farmers Branch's Representative to DART's Board of Directors

Dear Ms. Piukana:

Members of DART's Board of Directors serve staggered two-year terms pursuant to Section 452.578 of the Texas Transportation Code. Faye Moses Wilkins was appointed to represent the City of Farmers Branch. Her term of office will expire on June 30, 2016.

Please send a copy of the resolution appointing or re-appointing a representative for the to the DART Board of Directors to the attention of:

Nancy K. Johnson
Director, Office of Board Support
Dallas Area Rapid Transit
P.O. Box 660163
Dallas, Texas 75266
Fax (214) 749-3651

If you have any questions regarding this matter, please call me at (214) 749-3347.

Sincerely,

A handwritten signature in black ink that reads "Nancy K. Johnson".

Nancy K. Johnson
Director, Office of Board Support

NKJ/lh

C: Faye Moses Wilkins, Chair
Gary C. Thomas
Scott Carlson



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-065

Agenda Date: 8/2/2016

Version: 1

Status: Consent Agenda

In Control: City Council

File Type: Resolution

Agenda Number: G.3

Consider approving Resolution No. 2016-065 approving the 2016-17 operating budget of the North Dallas County Water Supply Corporation and take appropriate action.

BACKGROUND:

The North Dallas County Water Supply Corporation was created in 1991 through an interlocal agreement with the Town of Addison for the purpose of financing and constructing a sanitary sewer system tunnel to serve the east side of the City and the Town of Addison. The Corporate By-Laws require that the Corporation's Board of Directors adopt an annual budget and that the City Councils of Farmers Branch and Addison approve the adopted budget.

DISCUSSION:

The Board, which consists of three staff members from the City of Farmers Branch and three staff members from the Town of Addison, conducted a public meeting to approve the budget on July 18, 2016 and all members voted to approve the budget.

RECOMMENDATION:

Recommended motion by City Administration to approve Resolution No. 2016-065 approving the 2016-17 Operating Fund Budget of the North Dallas County Water Supply Corporation.

POSSIBLE COUNCIL ACTION:

1. I move to approve Resolution No. 2016-065 approving the 2016-17 operating budget of the North Dallas County Water Supply Corporation.
2. I move to approve Resolution No. 2016-065 approving the 2016-17 operating budget of the North Dallas County Water Supply Corporation, with modifications.
3. I move to table the issue for further study or take no action.

ATTACHMENTS:

1. Resolution No. 2016-065



**FARMERS
BRANCH**

RESOLUTION NO. 2016-065

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, APPROVING THE 2016-2017 OPERATING BUDGET OF THE NORTH DALLAS COUNTY WATER SUPPLY CORPORATION; PROVIDING AN EFFECTIVE DATE

WHEREAS, the North Dallas County Water Supply Corporation (“Corporation”) was created by the City of Farmers Branch and the Town of Addison (collectively, the "Cities") for the purpose of joint construction, financing, and administration of certain sewer system improvements; and

WHEREAS, the by-laws of the Corporation require the Board of Directors to adopt a budget of expected revenues and proposed expenditures for the ensuing fiscal year; and

WHEREAS, the Board of Directors unanimously adopted a budget for the fiscal year beginning October 1, 2016 and ending September 30, 2017, attached as Exhibit A to this resolution, on July 18, 2016; and

WHEREAS, the by-laws of the Corporation state that the budget is not effective until the same has been approved by the Cities; and

WHEREAS, the City Council of the City of Farmers Branch finds it to be in the public interest to approve said budget.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS THAT:

SECTION 1. The Operating Fund Budget for the North Dallas County Water Supply Corporation for the fiscal year beginning October 1, 2016 and ending September 30, 2017, adopted by the Corporation's Board of Directors and attached hereto as Exhibit A, is hereby approved.

SECTION 2. This Resolution shall be effective immediately upon approval.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, ON THE 2ND OF AUGUST, 2016.

ATTEST:

APPROVED:

Amy Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

Peter G. Smith, City Attorney

**NORTH DALLAS COUNTY WATER SUPPLY CORPORATION
OPERATING FUND
2016-2017 Proposed BUDGET**

EXHIBIT A

	YEAR TO DATE ACTUAL AT 09/30/15	ADOPTED BUDGET 2015-2016	YEAR TO DATE ACTUAL AT 03/31/16	PROPOSED BUDGET 2016-2017
EST. BEGINNING FUND BALANCE	\$40,497	\$40,250	\$40,368	\$35,200
<i>REVENUES:</i>				
Charges to participant cities				
Addison	\$0	\$0	\$0	\$0
Farmers Branch	0	0	0	0
Interest and miscellaneous	0	0	0	0
Transfer from Capital Projects fund	0	0	0	0
TOTAL REVENUES	\$0	\$0	\$0	\$0
TOTAL AVAILABLE RESOURCES	\$40,497	\$40,250	\$40,368	\$35,200
<i>EXPENDITURES:</i>				
General Maintenance	\$0	\$5,000	\$0	\$5,000
Total Maintenance	\$0	\$5,000	\$0	\$5,000
General Overhead				
Project Administration	\$0	\$0	\$0	\$0
Supplies	0	0	0	0
Legal Fees	0	520	0	520
Insurance	0	0	0	0
Audit Fees	0	5,000	5,000	0
Bank Fees	130	400	0	200
Miscellaneous	0	275	0	275
Total Overhead	\$130	\$6,195	\$5,000	\$995
Transfer to Capital Projects Fund		\$0	\$0	\$0
TOTAL EXPENDITURES	\$130	\$11,195	\$5,000	\$5,995
ENDING FUND BALANCE	\$40,367	\$29,055	\$35,368	\$29,205



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-068

Agenda Date: 8/2/2016

Version: 1

Status: Consent Agenda

In Control: City Council

File Type: Resolution

Agenda Number: G.4

Consider approving Resolution No. 2016-068 authorizing an Interlocal Agreement between City of Farmers Branch and Dallas County for Health and Human Services; and take appropriate action.

BACKGROUND:

The City contracts with Dallas County for Health and Human Services. This Interlocal Agreement establishes and coordinates health services for city residents which are operated through Dallas County. Some services offered include immunizations for Farmers Branch residents and a well child clinic, communicable disease control services, laboratory services and senior citizens healthcare services. The city's portion of the cost is based on population.

DISCUSSION:

The current contract expires on September 30, 2016. Dallas County will continue services on October 1, 2016.

The total cost for services for fiscal year 2016-2017 will not increase from the previous years for the amount of \$6,856. There are no other changes in the proposed contract. Funds are available in the Environmental Health Services operating budget.

RECOMMENDATION:

City Administration recommends approving Resolution No. 2016-068 authorizing an Interlocal Agreement with Dallas County for Health and Human Services in the amount of \$6,856.00.

POSSIBLE COUNCIL ACTION:

1. I move to approve Resolution No. 2016-068 authorizing an Interlocal Agreement with Dallas County for Health and Human Services
2. I move to approve Resolution No. 2016-068 authorizing an Interlocal Agreement with Dallas County for Health and Human Services, with modifications.
3. I move to table the issue for further study or take no action.

ATTACHMENTS:

1. Resolution No. 2016-068
2. Interlocal Agreement with Dallas County



RESOLUTION NO. 2016-068

A RESOLUTION OF THE CITY OF FARMERS BRANCH APPROVING INTERLOCAL AGREEMENT FOR COORDINATED HEALTH SERVICES WITH DALLAS COUNTY; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Farmers Branch, Texas has provided public health services for its residents during the 2015-2016 fiscal year through an interlocal agreement with Dallas County through the Dallas County Health and Human Services Department, which contract expires September 30, 2016; and

WHEREAS, the City Council finds it to be in the public interest to continue to provide these public health services by renewing its agreement with Dallas County for Fiscal Year 2016-2017.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS THAT:

SECTION 1. The City Manager is hereby authorized to sign on behalf of the City of Farmers Branch an interlocal agreement with Dallas County by and through the Dallas County Health and Human Services Department to provide public health services for City residents for the fiscal year 2016-2017 at a cost not to exceed \$6,856.00.

SECTION 2. This Resolution shall take effect immediately upon passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THIS 2nd DAY OF AUGUST 2016.

ATTEST:

APPROVED:

Amy Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

Peter G. Smith, City Attorney
(kbl: 7/19/16:77909)

THE STATE OF TEXAS § **INTERLOCAL AGREEMENT FOR**
 § **COORDINATED HEALTH SERVICES**
 § **BETWEEN DALLAS COUNTY, TEXAS, ON**
 § **BEHALF OF DALLAS COUNTY HEALTH AND**
 § **HUMAN SERVICES, AND THE CITY OF**
COUNTY OF DALLAS § **FARMERS BRANCH, TEXAS**

1. PARTIES

Whereas, Dallas County (“County”) has offered to provide certain health services to the various cities throughout Dallas County on a contract for services basis; and

Whereas, the City of Farmers Branch, Texas (“City”) desires to participate with County in establishing coordinated health services for City and Dallas County; and

Whereas, County will operate certain health services for the residents of City in order to promote the effectiveness of local public health services and goals (“Program”); and

Whereas, the cooperative effort will allow cities located within Dallas County to participate in providing public health services for their residents; and

Whereas, such cooperative effort serves and furthers the public purpose and benefits the citizens of County as a whole.

Now therefore, County, on behalf of Dallas County Health and Human Services (“DCHHS”), enters into this Interlocal Agreement (“Agreement”) with City, pursuant to the authorities of the Texas Health and Safety Code Chapter 121, the Texas Government Code Chapter 791, and other applicable laws for health services to City.

2. HEALTH SERVICES TO BE PERFORMED

- A. County agrees to operate the Program, which will include the following health services:
 - 1) Tuberculosis Control Services: providing preventive, diagnostic treatment, and epidemiological services;
 - 2) Sexually Transmitted Disease Control Services: consisting of education to motivate people to use preventive measures and to seek early treatment, prophylaxis, epidemiological investigation, and counseling in accordance with County policy;
 - 3) Communicable Disease Control Services: providing information concerning immunization and communicable diseases and coordinating with the Texas Department of State Health Services (“DSHS”) in monitoring communicable diseases;
 - 4) Laboratory Services: performing chemical, biological, and bacteriological analysis

and tests on which are based diagnosis of disease, effectiveness of treatment, the quality of the environment, the safety of substance for human consumption, and the control of communicable disease.

B. County agrees to provide to City, in accordance with state and federal law, the following public health services:

- 1) Immunizations;
- 2) Child health care;
- 3) High risk infant case management; and
- 4) Home visits.

County also agrees to work with City in order to decentralize clinics and to plan and provide for desired services by City; however, any other services that City requires, in addition to the above mentioned services, may result in additional fees to City.

C. County agrees to charge a sliding fee based on ability to pay to all residents of every municipality, including City, in Dallas County. The fees charged by County for the services listed in Section 2A of this Agreement will be used to offset the City's Program costs for the next Agreement Term. A schedule of fees to be charged by County is set out in Exhibit A, attached and incorporated herein by reference for all purposes.

D. County agrees that the level of service provided in the Program for City will not be diminished below the level of service provided to City for the same services in the prior Agreement Term except as indicated in Section 2E of this Agreement. For purposes of Section 2E, level of service is measured by the number of patient visits and number of specimens examined. County will submit to City a monthly statement, which will also include the number of patient visits and number of specimens examined during the preceding month.

E. The possibility exists of reductions in state and federal funding to the Program that could result in curtailment of services if not subsidized at the local level. County will notify City in writing of any amount of reduction, and any extent to which services will be curtailed as a result. The notice will also include an amount that City may elect to pay to maintain the original level of services. City will notify County in writing no later than fourteen (14) calendar days after the date of City's receipt of the notice of funding reduction as to City's decision to pay the requested amount or to accept the curtailment of service. If City elects to pay the requested amount, payment is due no later than forty-five (45) calendar days after the date of the notice of funding reduction.

3. BUDGET

- A. County agrees to submit to City by July 31st of each year a proposed budget describing the proposed level of services for the next Agreement Term;
- B. For the Term of this Agreement, County agrees to provide the services listed in Section 2 of this Agreement at the level of services and for the amount stated in Exhibit D, which is attached and incorporated herein by reference for all purposes;
- C. Payment. City shall pay County the following amount, as stated in Exhibit D, Six thousand eight hundred fifty-six and 00/100 Dollars (\$6,856.00), which is the agreed upon amount for City's share of the total cost of the Program less federal and state funding.
- D. In lieu of paying the actual dollar amount stated in this Agreement, City has the option, to the extent authorized by law, ordinances or policy, of making a request to negotiate for in-kind services that are equal in value to the total amount.
- E. This Agreement is contingent upon City's appropriation of funds, or ability to perform in-kind services as described in Section 3D of this Agreement, for the services set forth herein. In the event City fails to appropriate such funds, or provide in-kind services, County shall not incur any obligations under this Agreement.

4. ASSURANCES

- A. County shall operate and supervise the Program.
- B. Nothing in this Agreement shall be construed to restrict the authority of City over its health programs or environmental health programs or to limit the operations or services of those programs.
- C. City agrees to provide to County or assist County in procuring adequate facilities to be used for the services under this Agreement. These facilities must have adequate space, waiting areas, heating, air conditioning, lighting, and telephones. None of the costs and maintenance expenses associated with these facilities shall be the responsibility of County and County shall not be liable to City or any third party for the condition of the facilities, including any premises defects.
- D. City and County agree that other cities/towns/municipalities may join the Program by entering into an agreement with County that contains the same basic terms and conditions as this Agreement.
- E. Each party paying for the performance of governmental functions or services under this Agreement must make those payments from current revenues available to the paying party.

5. FINANCING OF SERVICES

- A. The health services provided under this Agreement will be financed as follows:
- 1) City and County will make available to the Program all appropriate federal and state funds, personnel, and equipment to provide the health services included under this Agreement and will use best efforts to cause these funds and resources to continue to increase.
 - 2) City shall pay to County, or provide in-kind services, its share of budgeted costs that are in excess of the federal and state funding for providing the health services under this Agreement. Budgeted costs shall not exceed those reflected in Exhibits B, C and D for the appropriate Agreement Term.
- B. County shall bill City each month an amount equal to one-twelfth (1/12) of its share of annual budgeted costs that exceed federal and state funding for the expenses of the preceding month.
- C. Any payment not made within thirty (30) calendar days of its due date shall bear interest in accordance with Chapter 2251 of the Texas Government Code.
- D. City and County agree that no more than ten percent (10%) of the City's cost of participating in the Program will be used for administration of the Program.

6. TERM

The Term of this Agreement shall be effective from October 1, 2016 through September 30, 2017, unless otherwise stated in this Agreement.

7. TERMINATION

- A. Without Cause: This Agreement may be terminated in writing, without cause, by either party upon thirty (30) calendar days prior written notice to the other party.
- B. With Cause: Either party may terminate the Agreement immediately, in whole or in part, at its sole discretion, by written notice to the other party, for the following reasons:
- 1) Lack of, or reduction in, funding or resources;
 - 2) Non-performance;
 - 3) The improper, misuse or inept use of funds or resources directly related to this Agreement;
 - 4) The submission of data, statements and/or reports that is incorrect, incomplete and/or false in any way.

8. RESPONSIBILITY

County and City agree that each shall be responsible for its own negligent acts or omissions or other tortious conduct in the course of performance of this Agreement, without waiving any governmental immunity available to County or City or their respective officials, officers, employees, or agents under Texas or other law and without waiving any available defenses under Texas or other law. Nothing in this paragraph shall be construed to create or grant any rights, contractual or otherwise, in or to any third persons or entities.

9. INSURANCE

City and County agree that they will, at all times during the Term of this Agreement, maintain in full force and effect insurance or self-insurance to the extent permitted by applicable laws. City and County will be responsible for their respective costs of such insurance, any and all deductible amounts in any policy and any denials of coverage made by their respective insurers.

10. ACCESS TO RECORDS RELEVANT TO PROGRAM

City and County agree to provide to the other upon request, copies of the books and records relating to the Program. City and County further agree to give City and County health officials access to all Program activities. Both City and County agree to adhere to all applicable confidentiality provisions, including those relating to Human Immunodeficiency Virus (HIV) and Sexually Transmitted Disease (STD) information, as mandated by federal and State law, as well as by DSHS.

11. NOTICE

Any notice to be given under this Agreement shall be deemed to have been given if reduced to writing and delivered in person by a reputable courier service or mailed by Registered Mail, postage pre-paid, to the party who is to receive such notice, demand or request at the addresses set forth below. Such notice, demand or request shall be deemed to have been given, if by courier, at the time of delivery, or if by mail, three (3) business days subsequent to the deposit of the notice in the United States mail in accordance herewith. The names and addresses of the parties' hereto to whom notice is to be sent are as follows:

Zachary Thompson, Director

Dallas County Health & Human Services
2377 N. Stemmons Freeway, LB 12
Dallas, TX 75207-2710

City of Farmers Branch
13000 William Dodson Parkway
Farmers Branch, TX 75234

12. IMMUNITY

This Agreement is expressly made subject to County's and City's Governmental Immunity, including, without limitation, Title 5 of the Texas Civil Practices and Remedies Code, and all applicable federal and state laws. The parties expressly agree that no provision of this Agreement is in any way intended to constitute a waiver of any immunities from suit or from liability, or a waiver of any tort limitation, that City or County has by operation of law or otherwise. Nothing in this Agreement is intended to benefit any third party beneficiary.

13. COMPLIANCE WITH LAWS AND VENUE

In providing services required by this Agreement, City and County must observe and comply with all licenses, legal certifications, or inspections required for the services, facilities, equipment, or materials, and all applicable federal, State, and local statutes, ordinances, rules, and regulations. Texas law shall govern this Agreement and exclusive venue shall lie in Dallas County, Texas.

14. AMENDMENTS AND CHANGES IN THE LAW

No modification, amendment, novation, renewal or other alteration of this Agreement shall be effective unless mutually agreed upon in writing and executed by the parties hereto. Any alteration, addition or deletion to the terms of this Agreement which are required by changes in federal or State law are automatically incorporated herein without written amendment to this Agreement and shall be effective on the date designated by said law.

15. ENTIRE AGREEMENT

This Agreement, including all Exhibits and attachments, constitutes the entire agreement between the parties hereto and supersedes any other agreements concerning the subject matter of this transaction, whether oral or written.

16. BINDING EFFECT

This Agreement and the respective rights and obligations of the parties hereto shall inure to the benefit and be binding upon the successors and assigns of the parties hereto, as well as the parties themselves.

17. GOVERNMENT FUNDED PROJECT

If this Agreement is funded in part by either the State of Texas or the federal government, County and City agree to timely comply without additional cost or expense to the other party, unless otherwise specified herein, to any statute, rule, regulation, grant, contract provision or other State or federal law, rule, regulation, or other similar restriction that imposes additional or greater requirements than stated herein and that is directly applicable to the services rendered under the terms of this Agreement.

18. DEFAULT/ CUMULATIVE RIGHTS/ MITIGATION

In the event of a default by either party, it is not a waiver of default if the non-defaulting party fails to immediately declare a default or delays in taking any action. The rights and remedies provided by this Agreement are cumulative, and either party's use of any right or remedy will not preclude or waive its right to use any other remedy. These rights and remedies are in addition to any other rights the parties may have by law, statute, ordinance or otherwise. Both parties have a duty to mitigate damages.

19. FISCAL FUNDING CLAUSE

Notwithstanding any provisions contained herein, the obligations of County and City under this Agreement are expressly contingent upon the availability of funding for each item and obligation contained herein for the Term of the Agreement and any extensions thereto. City and County shall have no right of action against the other party in the event the other party is unable to fulfill its obligations under this Agreement as a result of lack of sufficient funding for any item or obligation from any source utilized to fund this Agreement or failure to budget or authorize funding for this Agreement during the current or future Agreement Terms. In the event that County or City is unable to fulfill its obligations under this Agreement as a result of lack of sufficient funding, or if funds become unavailable, each party, at its sole discretion, may provide funds from a separate source or may terminate this Agreement by written notice to the other party at the earliest possible time.

20. COUNTERPARTS, NUMBER, GENDER AND HEADINGS

This Agreement may be executed in multiple counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument. Words of any gender used in this Agreement shall be held and construed to include any other gender. Any words in the singular shall include the plural and vice versa, unless the context clearly requires otherwise. Headings herein are for the convenience of reference only and shall not be considered in any interpretation of this Agreement.

21. PREVENTION OF FRAUD AND ABUSE

City and County shall establish, maintain and utilize internal management procedures sufficient to provide for the proper, effective management of all activities funded under this Agreement. Any known or suspected incident of fraud or program abuse involving County or City's employees or agents shall be reported immediately for appropriate action. Moreover, City and County warrant to be not listed on a local, county, State or federal consolidated list of debarred, suspended and ineligible contractors and grantees. City and County agree that every person who, as part of their employment, receives, disburses, handles or has access to funds collected pursuant to this Agreement does not participate in accounting or operating functions that would permit them to conceal accounting records and the misuse of said funds. Each party shall, upon notice by the other party, refund their respective expenditures that are contrary to this Agreement.

22. AGENCY / INDEPENDENT CONTRACTOR

County and City agree that the terms and conditions of this Agreement do not constitute the creation of a separate legal entity or the creation of legal responsibilities of either party other than under the terms of this Agreement. County and City are and shall be acting as independent contractors under this Agreement; accordingly, nothing contained in this Agreement shall be construed as establishing a master/servant, employer/employee, partnership, joint venture, or joint enterprise relationship between County and City. City and County are responsible for their own acts, forbearance, negligence and deeds, and for those of their respective officials, agents or employees in conjunction with the performance of work covered under this Agreement.

23. SEVERABILITY

If any provision of this Agreement is construed to be illegal or invalid, this will not affect the legality or validity of any of the other provisions in this Agreement. The illegal or invalid provision will be deemed stricken and deleted, but all other provisions shall continue and be given effect as if the illegal or invalid provisions had never been incorporated.

24. SIGNATORY WARRANTY

Each person signing and executing this Agreement does hereby warrant and represent that such person has been duly authorized to execute this Agreement on behalf of City or County, as the case may be.

DALLAS COUNTY:

CITY OF FARMERS BRANCH:

By: Clay Lewis Jenkins
Dallas County Judge

By: _____
City Manager/Mayor

DATE: _____

DATE: _____

Recommended:

Attested:

By: Zachary Thompson
Director, DCHHS

By: _____
City Secretary

Approved as to Form*:
SUSAN HAWK
DISTRICT ATTORNEY

Approved as to Form:

By: Melanie Barton
Assistant District Attorney

By: _____
City Attorney

*By law, the District Attorney's Office may only advise or approve contracts or legal documents on behalf of its clients. It may not advise or approve a contract or legal document on behalf of other parties. Our review of this document was conducted solely from the legal perspective of our client. Our approval of this document was offered solely for the benefit of our client. Other parties should not rely on this approval, and should seek review and approval by their own respective attorney(s).

FY 2017 FEE SCHEDULE (PROPOSED)

SEXUALLY TRANSMITTED

Treatment	\$20 - \$45 (Sliding Scale)
Blood Drawing	\$5
Chemical Lesion Reduction	\$45
Medical Records Copies	\$5 each

TUBERCULOSIS

TB Testing-Level I (Office Visit)	\$30
TB Testing-Level II (QuantiFeron)	\$50
Chest X-Ray Copies	\$5

LABORATORY

Wet Prep	\$6 each
Gram Stain	\$6 each
GC Culture	\$14 each
RPR	\$11 each
GEN Probe GC Screen	\$47 each
GEN Probe CT Screen	\$47 each
HIV Test	\$15 each
HIV Test - Rapid	\$20 each
Salmonella/Shigella	\$16 each
Chancroid Culture	\$10 each
MTD Testing for TB	\$40/ each
TB Culture & Concentration	\$25 each
TB Identification	\$15 each
TB Susceptibility	\$31 each
TB Acid Fast Stain	\$ 8 each

NURSING SERVICE

Hepatitis A Havrix*	\$45/Injection
Hepatitis B Vaccine*	\$50/Injection
Twinrix	\$80/Injection
Rabies (PE)	\$320/Injection
IPV	\$45/Injection
Pneumococcal*	\$105/Injection
Adacel (Pertusis)	\$60/injection
HIB	\$35/injection
Japanese Encephalitis	\$330/Injection
Meningococcal (Menomune)	\$140/Injection
Typhoid (Polysaccharide)	\$75/Injection
Typhoid (Oral)	\$50/box
Yellow Fever Vaccine	\$160/Injection
Boostrix Vaccine	\$50/Injection
Influenza Vaccine*	\$20/Injection
Influenza (High Dose)	\$45/injection
Influenza (Intradermal)	\$30/injection
Rabies Administrative Fee/	
Serves State Vaccine	\$25
Foreign Travel Office Visit Fee	\$25
TD*	\$45/Injection

ENVIRONMENTAL HEALTH

Septic Tank Inspection	\$310/Commercial/Business
	\$260/Residential
Septic Tank Re-inspection	\$35/Residential
	\$85/Commercial
Food Establishment Inspection	\$150/yr./establishment
Half-Way Houses & Boarding	\$75/plus \$25 for each
Homes, Residential	additional unit on site
Mosquito Spraying for Non-	
contracting cities	\$185/ per hour
Water Sample	\$50
Mosquito Testing	\$35
Food Mgr. Cert. Program	\$100/per person
Food Mgr. Cert. Retesting	\$50/per person

Note: 1) # Indicates \$10 charge for State fee

CRIMINAL TESTING

Blood Draws	\$38
Buccal Swabs	\$38
Cryotherapy	\$15

EARLY INTERVENTION CLINIC

EIC Counseling Fee	\$5
EIC Medical Visit Fee	\$10

Comprehensive TB Testing & Evaluation (Incl. Chest X-ray)	\$80
---	------

Pregnancy Test	\$20 each
Urinalysis	\$15 each
Dark Field	\$16 each
Herpes Culture	\$38 each
Herpes Type 1 & 2 Serology	\$50 each
Group A Strep	\$14 each
HIV-1 RNA Testing	\$115 each
Western Blot	\$75 each
Residual Clinical Specimens	\$5 each
	<i>Urine Screen:</i>
Neisseria Gonorrhoeae	\$47 each
Chlamydia Trachomatis	\$47 each
Lead Screen	\$10 each
Staphylococcus/Aureus Culture	\$17 each

Varivax*	\$135/Injection
Meningococcal (MCV4)*	\$130/Injection
Zostavax (Shingles)*	\$235/Injection
Gardasil (HPV)*	\$195/Injection
Hepatitis A (Pediatric)	\$35/injection
Hepatitis B (Pediatric)	\$30/injection
DT	\$60/injection
DTaP-HepB-IPV	\$85/injection
DTaP-IPV	\$60/injection
Rotavirus	\$125/injection
PCV13	\$160/injection
MMR*	\$80/Injection

Communicable Disease Program:

Hepatitis C Screening	\$35/Test
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Immunization/VFC Program:

DPT,DT,Hib,	\$5/Per child
Well Baby	\$5/Visit
Diabetic Testing	\$5/Test
Immunization Record	\$5 each
Foreign Travel Yellow Card	\$5 each

*Note: Vaccines marked with asterisks are part of the Adult Safety Net Program (ASNP). Clients eligible to receive through the ASNP will be charged a fee of \$10/shot

Day Care Center Inspections	\$2/per authorized child
Temporary Food Permit	\$75/plus \$10 per day
Funeral Home Inspection	\$200
FHA, VA, Conventional Loans	\$125/Licensed
	\$150/Unlicensed
Annual Group Home Inspection	\$50
Sub-division Plat Approval	\$200/Residential
	\$150/Commercial
Animal Control/Quarantine	\$7/per day
Animal Control/Vicious Animal	\$12/per day
Food Manager Re-certification	\$50/Test
W/Multiple Test Sites	

January, 2015 thru December, 2015

<i>Municipality</i>	<i>Tuberculosis</i>	<i>Sexually Transmitted Disease</i>	<i>Laboratory</i>	<i>Communicable Disease</i>
<i>Addison</i>	99	39	57	299
<i>Balch Springs</i>	206	120	371	176
<i>Carrollton</i>	751	191	603	572
<i>Cedar Hill</i>	251	235	171	390
<i>Cockrell Hill</i>	10	0	4	97
<i>Coppell</i>	107	25	16	265
<i>Dallas</i>	34504	8084	25204	24874
<i>Desoto</i>	599	299	261	554
<i>Duncanville</i>	361	170	285	339
<i>Farmers Branch</i>	472	56	212	247
<i>Garland</i>	3633	595	2492	394
<i>Glenn Heights</i>	89	58	58	67
<i>Grand Prairie</i>	1906	319	1457	1171
<i>Highland Park</i>	0	0	0	63
<i>Hutchins</i>	102	19	50	34
<i>Irving</i>	3783	684	2562	1715
<i>Lancaster</i>	391	326	293	229
<i>Mesquite</i>	1293	565	1312	883
<i>Richardson</i>	1663	108	334	628
<i>Rowlett</i>	500	41	105	114
<i>Sachse</i>	77	11	34	78
<i>Seagoville</i>	103	48	159	121
<i>Sunnyvale</i>	19	10	4	174
<i>University Park</i>	1	1	0	49
<i>Wilmer</i>	241	22	57	27
<i>Out of County</i>	1099	1517	64884	2021
Total	52260	13543	100985	35581

May 3, 2016

**DALLAS COUNTY HEALTH & HUMAN SERVICES
FY '17**

EXHIBIT C

Municipality	Tuberculosis	Sexually Transmitted Disease		Laboratory	Communicable Disease	FY 17 Contract Total
Addison	\$3,944	\$4,771	\$1,057	\$4,573	\$2,500	
Balch Springs	\$8,207	\$14,681	\$6,882	\$2,692	\$9,377	
Carrollton	\$29,920	\$23,368	\$11,186	\$8,749	\$23,823	
Cedar Hill	\$10,000	\$28,751	\$3,172	\$5,965	\$2,498	
Cockrell Hill	\$398	\$0	\$74	\$1,484	\$1,232	
Coppell	\$4,263	\$3,059	\$297	\$4,053	\$3,131	
Dallas	\$1,374,657	\$989,040	\$467,532	\$380,467	\$1,754,252	
Desoto	\$23,864	\$36,581	\$4,842	\$8,474	\$17,620	
Duncanville	\$14,382	\$20,799	\$5,287	\$5,185	\$11,273	
Farmers Branch	\$18,805	\$6,851	\$3,933	\$3,778	\$6,856	
Garland	\$144,740	\$72,796	\$46,226	\$6,027	\$80,156	
Glenn Heights	\$3,546	\$7,096	\$1,076	\$1,025	\$574	
Grand Prairie	\$75,936	\$39,028	\$27,027	\$17,911	\$38,854	
Highland Park	\$0	\$0	\$0	\$964	\$132	
Hutchins	\$4,064	\$2,325	\$927	\$520	\$3,149	
Irving	\$150,717	\$83,684	\$47,525	\$26,232	\$81,906	
Lancaster	\$15,578	\$39,885	\$5,435	\$3,503	\$12,106	
Mesquite	\$51,514	\$69,125	\$24,337	\$13,506	\$31,608	
Richardson	\$66,255	\$13,213	\$6,196	\$9,606	\$23,756	
Rowlett	\$19,920	\$5,016	\$1,948	\$1,744	\$4,925	
Sachse	\$3,068	\$1,346	\$631	\$1,193	\$362	
Seagoville	\$4,103	\$5,873	\$2,949	\$1,851	\$6,440	
Sunnyvale	\$757	\$1,223	\$74	\$2,661	\$99	
University Park	\$40	\$122	\$0	\$749	\$48	
Wilmer	\$9,602	\$2,692	\$1,057	\$413	\$2,597	
Out of County	\$43,785	\$185,599	\$1,203,592	\$30,914	\$77,142	
Total	\$2,082,065	\$1,656,924	\$1,873,262	\$544,239	\$2,196,416	

May 3, 2016

EXHIBIT D

FY'17 CONTRACT COSTS

MUNICIPALITIES	CONTRACT COST
ADDISON	\$2,500
BALCH SPRINGS	\$9,377
CARROLLTON	\$23,823
CEDAR HILL	\$2,498
COCKRELL HILL	\$1,232
COPPELL	\$3,131
* DALLAS	\$1,754,252
* DESOTO	\$17,620
* DUNCANVILLE	\$11,273
FARMERS BRANCH	\$6,856
* GARLAND	\$80,156
GLENN HEIGHTS	\$574
GRAND PRAIRIE	\$38,854
HIGHLAND PARK	\$132
HUTCHINS	\$3,149
IRVING	\$81,906
LANCASTER	\$12,106
* MESQUITE	\$31,608
* RICHARDSON	\$23,756
* ROWLETT	\$4,925
* SACHSE	\$362
* SEAGOVILLE	\$6,440
SUNNYVALE	\$99
UNIVERSITY PARK	\$48
* WILMER	\$2,597
* UNINCORPORATED	\$77,142
TOTAL	\$2,196,416



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-069

Agenda Date: 8/2/2016

Version: 1

Status: Consent Agenda

In Control: City Council

File Type: Resolution

Agenda Number: G.5

Consider approving Resolution No. 2016-069 awarding the bid for the Cooks Creek Gabion Repair at Fyke Road to Ark Contracting Services, LLC; and take appropriate action.

BACKGROUND:

The City Council adopted Ordinance No. 3299 in September 2014 establishing a Municipal Drainage Utility System, which establishes drainage fees that help support the operations of the City's drainage utility system. Grant funding was obtained through the Federal Emergency Management Agency resulting in a check in the amount of \$31,469.92 to make the repairs to the failed gabion structures. These structures were damaged by flooding which occurred in May of 2015.

As the bids were higher than anticipated, new information will be submitted to the Federal Emergency Management Agency to request additional funding based on the actual bids. In order to repair the damage done by previous storms, the Municipal Drainage Utility System will fund the balance to proceed with this project. Any additional grant funding received will be credited back to the Municipal Drainage Utility System.

The 2015-2016 Municipal Drainage Utility System operating budget and grant funds from Federal Emergency Management Agency are available for Cooks Creek Gabion Repairs at Fyke Road.

The scope of this project is to repair the failed gabion structure along the south side of Fyke Road at Cooks Creek.

DISCUSSION:

Two bids were received and opened on July 19, 2016. The lowest qualified bid was received from ARK Contracting Services, LLC in the amount of \$170,788.00. ARK Contracting Services have provided adequate references for similar projects. Contract time is 45 calendar days.

RECOMMENDATION:

City Administration recommends approving Resolution No. 2016-069 awarding the bid for the Cooks Creek Gabion Repair at Fyke Road to ARK Contracting Services, LLC in the amount of \$170,788.00.

POSSIBLE COUNCIL ACTION:

1. I move to approve Resolution No. 2016-069 awarding the bid for the Cooks Creek Gabion Repair at Fyke Road to ARK Contracting Services, LLC.
2. I move to approve Resolution No. 2016-069 awarding the bid for the Cooks Creek Gabion Repair at Fyke Road to ARK Contracting Services, LLC, with modifications.
3. I move to table the issue for further study or take no action.

ATTACHMENTS:

1. Location Map
2. Photo of gabion failure
3. Resolution No. 2016-069
4. Bid Tabulation



**COOKS CREEK GABION
PROJECT LOCATION**



LOCATION MAP







RESOLUTION NO. 2016-069

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, A CONTRACT WITH ARK CONTRACTING SERVICES, LLC IN THE AMOUNT OF \$170,788.00 FOR THE RECONSTRUCTION OF A SECTION OF GABION WALL ALONG COOKS CREEK AT FYKE ROAD; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, a portion of gabion structure along Cooks Creek has failed and requires repair; and,

WHEREAS, having received, opened, and reviewed bids for the repair of the Cooks Creek Gabion Repairs at Fyke Road (“the Project”), City Administration has determined the lowest qualified bid for the Project meeting specifications was received from Ark Contracting Services, LLC in the amount of \$170,788.00 and recommends awarding the bid to Ark Contracting Services, LLC; and,

WHEREAS, the City Council of the City of Farmers Branch, Texas finds it to be in the public interest to approve the recommendation of the City Administration.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS THAT:

SECTION 1. The City Manager is authorized to execute, on behalf of the City of Farmers Branch, a contract with Ark Contracting Services, LLC for the Project as set forth in its response to Bid No. 16-11 and to sign such change orders to said contract as the City Manager deems reasonable, necessary, and in the public interest which are in compliance with applicable law and City policy and, in the case of an increase in contract price, subject to the availability of current funds.

SECTION 2. This resolution shall be effective immediately upon final passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, and THIS 2nd DAY OF AUGUST 2016.

ATTEST:

APPROVED:

Amy Piukana, City Secretary

Bob Phelps, Mayor

Peter G. Smith, City Attorney
(kbl:7/22/16:77955)

City of Farmers Branch
 Bid Tabulation
 PROJECT: Cooks Creek Gabion Repair at Fyke Rd

BID OPENING DATE: July 19, 2016
 TIME: 2:00 p.m.
 BID NO.: 06-11
 SHEET : 1 OF 1

Calendar Days: 45

UNIT	UNIT MEAS.	DESCRIPTION	Ark Contracting Services, LLC		HQS Construction, LLC			
			UNIT PRICE	CONTRACT AMOUNT	UNIT PRICE	CONTRACT AMOUNT		
1	LS	Remove & Salvage. Gabions & Loose Rocks	35,000.00	35,000.00	53,330.00	53,330.00		
1,050	SF	Gabion Basket 3'x3'x1'	22.00	23,100.00	24.00	25,200.00		
155	LF	3'x3'x3' Gabion Baskets	170.00	26,350.00	178.00	27,590.00		
2,400	SF	Gabion Mattress 3'x3'x1.5'	25.00	60,000.00	17.00	40,800.00		
988	SF	Repair & Grout Gabion Baskets	16.00	15,808.00	15.00	14,820.00		
310	SF	Construct rock rip-rap (12" min. Rock Size	18.00	5,580.00	60.00	18,600.00		
450	SY	Turf Establishment-Solid Sod	8.00	3,600.00	5.00	2,250.00		
15	SY	Remove & Replace Exist. Sidewalk	90.00	1,350.00	60.00	900.00		
Total Amount Base Bid			\$170,788.00		\$183,490.00			



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: ORD-3381

Agenda Date: 8/2/2016

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Ordinance

Agenda Number: H.1

Conduct a public hearing and consider adopting Ordinance No. 3381 approving a Specific Use Permit for a commercial indoor amusement facility located at 4372 Spring Valley Rd; and take appropriate action.

BACKGROUND:

The applicant, GYSAT Ventures, is proposing to operate an indoor commercial amusement facility within an existing building located in the Spring Valley Business Center, on the south side of Spring Valley Road, approximately 1,300 feet east of Midway Road. It is located within the Light Industrial (LI) zoning district. The site is bounded on all sides by a mix of retail, office and light industrial uses allowed within the Light Industrial Zoning District. Any commercial amusement indoor facility located within Light Industrial requires a Specific Use Permit.

DISCUSSION:

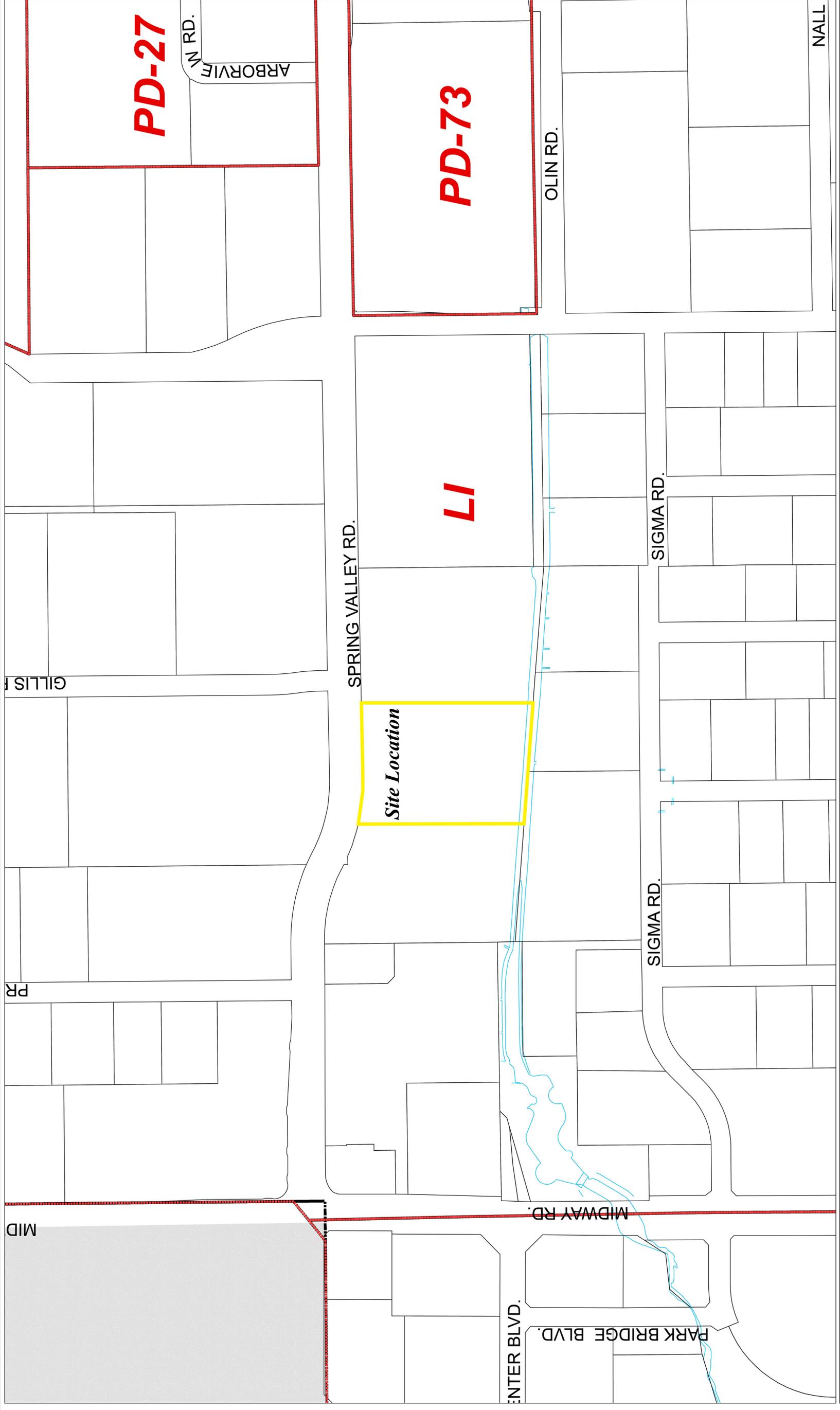
The applicant is proposing to develop this indoor gaming facility where participants will work together, in each game room, to solve riddle and puzzles to find a specific object in the room in less than 60 minutes. The facility is designed to accommodate a maximum of 49 persons playing at the same time. The business would be operated in a 3,030 square feet suite within the existing office / showroom building at Spring Valley Business Center. The floorplan is divided into 4 game rooms, 3 of these are double rooms designed to facilitate game scenarios, each designed differently to accommodate the special theme for each type of game, an open space as the waiting area, a control room and a front desk area and a briefing room. Each game room has a maximum occupancy of 6 to 10 people at one time and each with a space varying from approximately 264 square feet to 420 square feet per game room. No outside activity, no outdoor storage and no additional retail uses are proposed for this location.

RECOMMENDATION:

The Planning and Zoning Commission voted to recommend approval of this Specific Use Permit as described in the Ordinance No. 3381.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Information Memorandum
4. Ordinance No. 3381
5. Site Photographs



16-SU-11 - Location Map

4372 Spring Valley Rd.



Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

-  Zoning District Boundary
-  Parcel Property Boundaries
-  City Limit





16-SU-11 - Aerial Map 4372 Spring Valley Rd.

Parcel Property Boundaries
City Limit



Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

0 287.5 575



Feet



Information MEMORANDUM

TO: Mayor and City Council

FROM: Charles Cox
City Manager

DATE: August 2, 2016

SUBJECT: Proposed Ordinance No. 3381 to approve a Specific Use Permit for an indoor amusement facility located at 4300 Spring Valley Road, suite 4372.

Existing Conditions:

The subject site is located at 4372 Spring Valley in the Spring Valley Business Center, on the south side of Spring Valley Road, approximately 1,300 feet east of Midway Road. It is located within the Light Industrial (LI) zoning district.

The site is bounded on all sides by a mix of retail, office and light industrial uses allowed within the Light Industrial Zoning District. Any commercial amusement indoor facility located within Light Industrial requires a Specific Use Permit. (See Location Map)

The subject site is part of an office complex that contains three existing masonry buildings, the proposed use located in one suite within the easternmost building. The one-story buildings were constructed in 1977 and contain approximately 56,755 square feet. The easternmost building is currently divided into 7 suites accommodating a variety of commercial and office uses. (See Site Plan)

Proposal/Site Design:

The applicant, GYSAT Ventures (Escape This), is proposing to develop an indoor gaming facility that presents a series of clues and puzzles aimed to bring out participants' inner detective. The business would be operated in a 3,030 square feet suite within the existing office /

showroom building at Spring Valley Business Center. The floorplan is divided into 4 game rooms, 3 of these are double rooms designed to facilitate game scenarios, each designed differently to accommodate the special theme for each type of game, an open space as the waiting area, a control room and a front desk area and a briefing room. Each game room has a maximum occupancy of 6 to 10 people at one time and each with a space varying from approximately 264 square feet to 420 square feet per game room. (See Floor Plan)

No outside activity, no outdoor storage and no additional retail uses are proposed for this location.

Operation:

The applicant is proposing to develop this indoor gaming facility where participants will work together, in each game room, to solve riddle and puzzles to find a specific object in the room in less than 60 minutes. Participants work together in groups of 6 to 10 depending on the game scenario.

The facility is designed to accommodate a maximum of 49 persons playing at the same time. The floorplan contains a control room where staff will monitor all game rooms. The facility will operate by appointment only, one employee will be assigned for each room and will monitor all activities on a computer in the control room. Participants will verbally communicate with the control room at all times via audio equipment installed in each room. The doors will remain unlocked at all times and the exit signs will be clearly visible. Participants being allowed to leave the room at any time if they feel uncomfortable or need a break.

The hours and details of operation are as follows: 2 to 4 employees will work in shifts; the facility will operate Monday through Thursday by appointment only, Friday from 11:30 AM to midnight, Saturday from 10:00 AM through midnight and Sunday from 11:30 AM to 9:00 PM.

Parking:

A total of 177 parking spaces serve the entire 4300 Spring Valley Business Center retail center. Suite 4372 where the indoor amusement facility is proposing to operate has currently reserved 6 parking spaces in front of the suite. Staff determined that no additional parking is needed for this new activity. There is adequate parking to serve the facility and the other existing uses within the retail center. (See Site Plan)

Landscaping:

The applicant has no plans to install any additional landscaping. City staff agreed that there is not an opportunity for additional landscaping at this location.

Signs:

The applicant is planning to install a wall sign close to the entrance to their suite. This signage will comply with City's Sign Ordinance.

Public Response:

Ten (10) public notification letters were mailed on June 14th, 2016. Two zoning notification signs were also posted on the site that same day. A public notice ad was placed in Dallas Morning news on July 15th. As of July 25th, 2016 no letters of opposition to this Specific Use Permit request have been received by the City.

Possible Council Action:

1. I move to adopt Ordinance No. 3381.
2. I move to adopt Ordinance No. 3381 with the following modification(s)...
3. I move to table the item or take no action.



ORDINANCE NO. 3381

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF FARMERS BRANCH, TEXAS, BY GRANTING A SPECIFIC USE PERMIT FOR COMMERCIAL AMUSEMENT (INDOOR) FOR AN APPROXIMATELY 3,030 SQUARE FOOT PORTION OF THE BUILDING LOCATED ON THE PROPERTY DESCRIBED IN EXHIBIT "A" (COMMONLY KNOWN AS 4372 SPRING VALLEY ROAD) WHICH IS PRESENTLY LOCATED IN A LIGHT INDUSTRIAL ("LI") ZONING DISTRICT; PROVIDING FOR THE APPROVAL OF A SITE PLAN AND CONCEPTUAL FLOOR PLAN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the laws of the State of Texas and the ordinances of the City of Farmers Branch, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THAT:

SECTION 1. The Comprehensive Zoning Ordinance and zoning map of the City of Farmers Branch, Texas, be, and the same is hereby amended, so as to grant a change in zoning by granting a Specific Use Permit for Commercial Amusement (Indoor) for property within a Light Industrial ("LI") zoning district being a 3030± square foot portion of the building located on the property described in Exhibit "A" hereto, said portion being depicted on Exhibit "A-1" hereto (commonly known as 4372 Spring Valley Road, Farmers Branch, Texas)("the Property").

SECTION 2. The Property shall conform in operation, location and construction to the development standards specified within the Light Industrial ("LI") zoning district, and if used and developed in accordance with the purposes for which this Specific Use Permit is granted, the Property shall be developed in accordance with the following special conditions:

- A. The Property shall be developed and used only in accordance with the Conceptual Floor Plan attached hereto as Exhibit "B" and incorporated herein by reference, which are hereby approved; provided, however, modifications to the Floor Plan

may be made if approved by the City Manager or designee and such modifications do not cumulatively allow for a capacity exceeding fifty (50) people;

B. The hours during which Events held at the Property shall be limited as follows:

- (1) No Event shall commence earlier than 11:30 a.m. Monday through Friday, 10:00 a.m. on Saturday, and 11:30 a.m. on Sunday;
- (2) If the Event commences on any day other than Sunday, the Event must end not later than Midnight on the same day; and
- (3) If the Event commences on a Sunday, the Event must end not later than 9:00 p.m. on the same day.

SECTION 3. In the event of an irreconcilable conflict between the provisions of another previously adopted ordinance of the City of Farmers Branch and the provisions of this Ordinance as applicable to the use and development of the Property, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. An offense committed before the effective date of this ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

**DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH,
TEXAS, ON THIS THE 2ND DAY OF AUGUST, 2016.**

ATTEST:

APPROVED:

Amy Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

Peter G. Smith, City Attorney
(kbl:7/22/16:77956)

Ordinance No. 3381
EXHIBIT "A" – Description of Property

Being a tract of land situated in the ELISHA FIKE SURVEY, ABSTRACT No. 478 of the City of Farmers Branch, Dallas County, Texas, also being a part of Block "C" of the Metropolitan Office Park, an addition to the City of Farmers Branch, Texas according to the revised plat filed in Volume 73048 at Page 1642 of the Map Records of Dallas County, Texas, and part of Block "E" of the Metropolitan Business Park, Section Four, an addition to the City of Farmers Branch, Texas, according to the plat thereof filed for record in Volume 70083 at Page 0887, and being more particularly described as follows:

BEGINNING at an "X" cut in concrete set for corner, said point being South 89 deg 22 min West, 5.00 feet from the Northwest corner of said Metropolitan Office Park, Block "C", Revised, said point also being on the South line of Spring Valley Road (a 100' ROW);

THENCE North 89 deg 22 min East, along the South line of Spring Valley Road, a distance of 392.11 feet to a point for corner, said point, being the Northeast corner of said Metropolitan Office Park, Block "C" Revised;

THENCE South 0 deg 08 min East, along the East line of said Metropolitan Office Park, Block "C", Revised, a distance of 542.69 feet to a point on the centerline of a 40 foot drainage easement as shown on the Plat filed in Volume 73048 at Page 1642 of the Map Records of Dallas County, Texas;

THENCE North 85 deg 14 min 32 sec West, along the centerline of said 40 foot drainage easement, a distance of 394.86 feet to a point for corner, said point being in the Metropolitan Business Park, Section Four, Block "E";

THENCE North 0 deg 01 min East, along a line 5 feet West of and parallel with the East line of said Metropolitan Business Park, Section Four, Block "E", a distance of 505.60 feet to the POINT OF BEGINNING and containing a gross area of 205,872 square feet or 4.726 acres and a net area of 179,603 square feet or 4.123 acres of land.

BEING a part of that certain tract, parcel or lot of land out of the ELISHA FIKE SURVEY, Abstract No. 478 in the City of Farmers Branch, Dallas County, Texas platted as BLOCK "E" METROPOLITAN BUSINESS PARK, SECTION FOUR, an addition to the City of Farmers Branch, Dallas County, Texas according to the revised plat thereof recorded in Volume 77150, Page 0708, Map Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a cross cut in concrete pavement for the northeasterly corner of the beforementioned METROPOLITAN BUSINESS PARK, SECTION FOUR;

THENCE South 00° 01' 00" West, with the easterly line of said addition; passing a crowfoot cut in top of curb at 485.53 feet; in all a total distance of 505.60 feet to a point for southeasterly corner of the said METROPOLITAN BUSINESS PARK, SECTION FOUR;

THENCE North 85° 14' 32" West, with the southerly line of said addition, a distance of 348.19 feet to a point for a corner, from which a cross cut on the top of curb bears North 00° 01' 00" East, 20.07 feet;

THENCE North 00° 01' 00" East, a distance of 489.19 feet to a PK nail set in the southerly right-of-way curve of Spring Valley Road to the left having a central angle of 14° 14' 27", a radius of 530.66 feet and a chord bearing and distance of South 83° 30' 47" East, 131.56 feet;

THENCE with the said curve to the left, an arc distance of 131.89 to a 5/8" iron rod set for the point of tangency;

THENCE North 89° 22' 00" East, with the southerly right-of-way line of Spring Valley Road, a distance of 216.30 feet to the POINT OF BEGINNING and containing 3.914 acres of land.

SPRING VALLEY BUSINESS CENTRE

DALLAS, TEXAS 75244

SPRING VALLEY ROAD



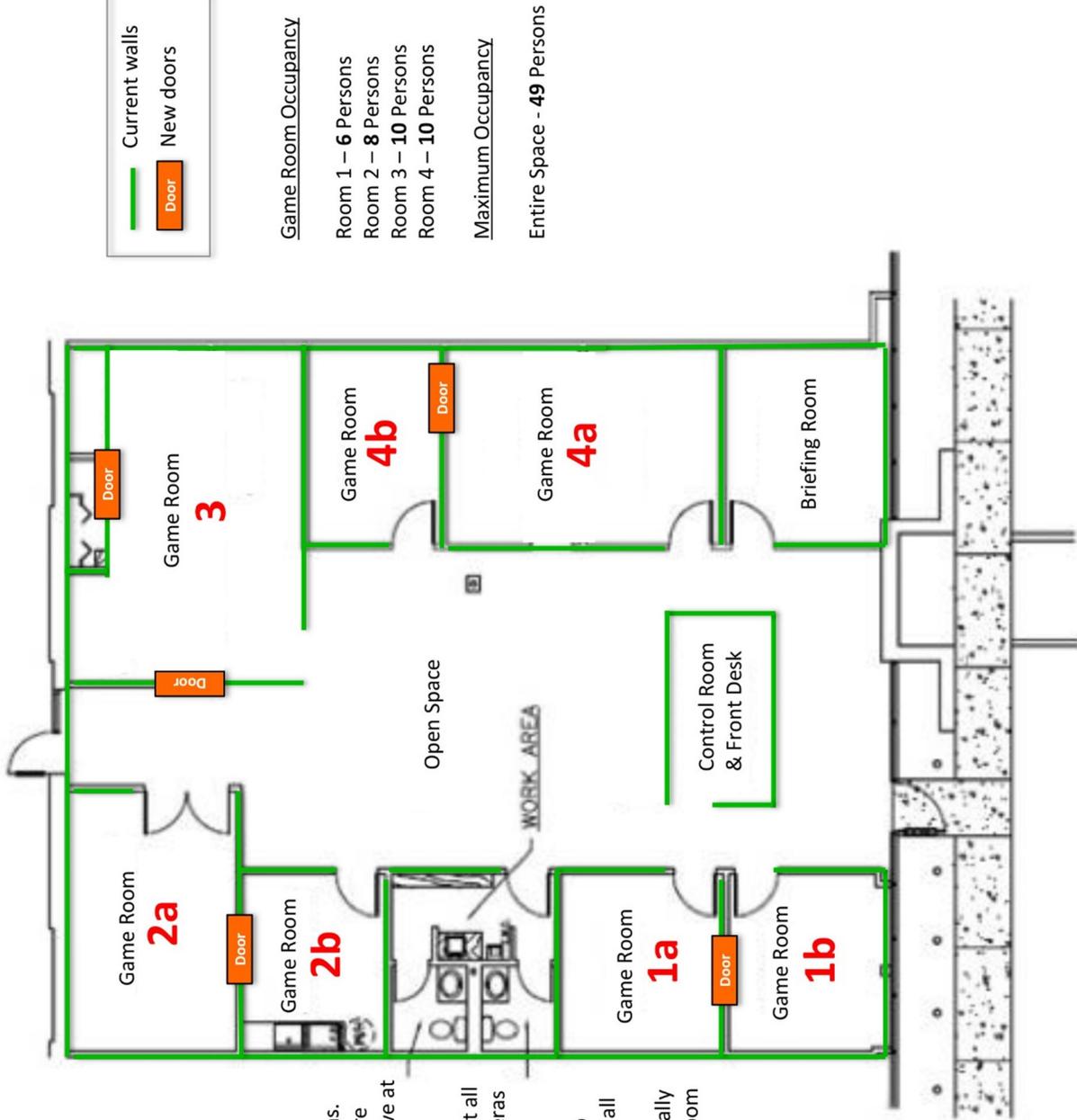
Unit	Tenant Name	Sq. Ft.
4300	Republic Title	4,658
4310	National Janitorial, Inc.	2,132
4312	AVAILABLE	3,335
4320	Functional Acupuncture Institute	1,800
4340	Knowledge As Medicine	3,705
4348	Kool Wash	4,000
4350	AVAILABLE	16,738
4356	J. F. Piper Enterprises, Inc.	4,897
4360	R. Williams Construction	2,880
4362	Malizei Enterprises	1,496
4366	AVAILABLE	1,110
4372	First Stone Credit Counseling	3,030
4378	AVAILABLE	5,010
4388	J's Restaurant	1,620
4390	Management Office	431
4400	Versatile Group, Inc.	3,000
4410	Versatile Group, Inc.	6,045
4416	AVAILABLE	2,850
4422	AVAILABLE	2,229
4424	Saran Ltd.	3,105
4440	Jesus House	7,130
4442	AVAILABLE	4,041
4444	AVAILABLE	6,779
4458	AVAILABLE	4,109
4460	Davi, Inc.	3,500
4466	Molly Maid	1,500
4470	Architectural Systems, Inc.	1,560
4472	AVAILABLE	2,110
4474	AVAILABLE	4,044
4478	J. Moen	1,200
4484	Magna Resources	1,200
4488	Cassidy Jones	5,880
Total Square Feet		117,124



The information contained herein has been given to us by sources believed reliable. We have no reason to doubt its accuracy, but we do not guarantee it.



Ordinance No. 3381
EXHIBIT "B" – Concept Floor Plan



Facility Operation

- There are a total of 4 game rooms. Some rooms are made up of more than one room, but all rooms have at least one unlocked egress door.
- Every single room is monitored at all times with 1080p HD video cameras from the control room.
- Each room has an employee who monitors activity in that room at all times to supervise the activity. Participants are also able to verbally communicate with the control room at all times via audio equipment.


FLOOR PLAN 3,030 SQ. FT. SCALE: NTS
4372 SPRING VALLEY, DALLAS TEXAS JOB # 03068

SITE PHOTOGRAPHS





City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: ORD-3382

Agenda Date: 8/2/2016

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Ordinance

Agenda Number: H.2

Conduct a public hearing and consider adopting Ordinance No. 3382 amending the Site Plan to the Specific Use Permit for a Private School, including Athletic Facilities, granted by Ordinance No. 2879 to Parish Episcopal School to provide for the addition of a Multipurpose Activity Center, Performance Hall/Center and Soccer Field at the existing 4101 Sigma Road location; and take appropriate action.

BACKGROUND:

In March 2001, a Specific Use Permit and associated site plan was approved for Parish Episcopal School to transform the existing building / property at 4101 Sigma Road into a private school including future athletic facilities. In 2006 City Council approved with Ordinance 2879 the Specific Use Permit to allow for modification of the athletic facilities and related improvements, building additions and other modifications and improvements to the site plan and landscape plan. Other minor amendments to detail and improve the site plan for Parish School were approved administratively in 2005, 2009, 2010 and 2016. The Site Plan approved with the Ordinance 2879 in 2006 contained a future expansion area for a gymnasium and an auditorium on the southern side of the main building. With this current SUP application that proposes a minor modification of this future expansion area, the Site Plan included in Ordinance 2879 will be replaced. The site is located within Planned Development No. 64 (PD-64).

DISCUSSION:

This expansion will include the addition of new facilities at the existing school campus as follows:

- An indoor multipurpose activity center (gymnasium) attached to the main building towards the existing semi-open courtyard on the south side of the building.
- An indoor performance hall attached to the main building on the eastern side.
- Temporary outdoor soccer fields east of Sigma Drive towards Midway Road.

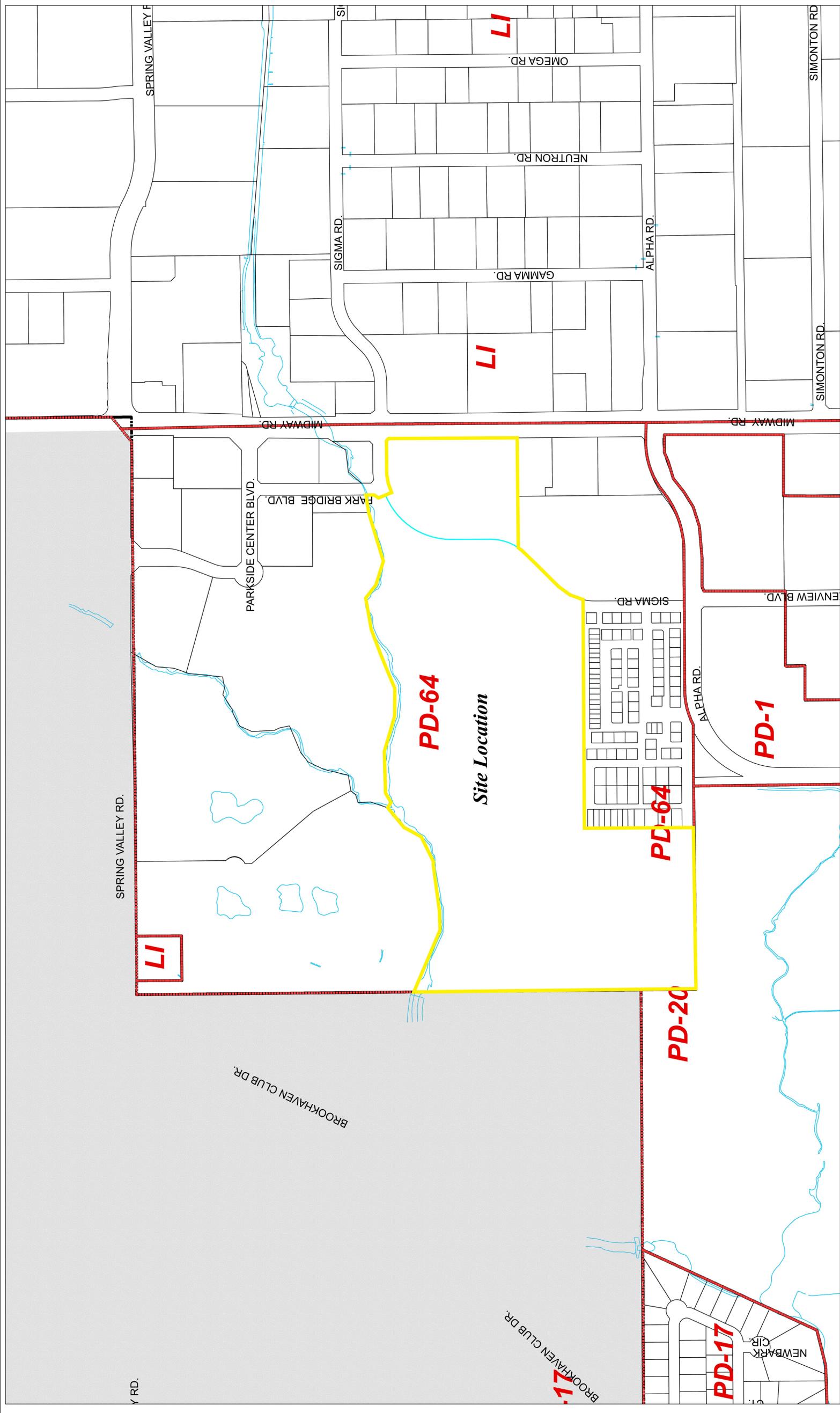
RECOMMENDATION:

On June 27th 2016, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit as described in the Ordinance No. 3382.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Information Memorandum
4. Ordinance No. 3382
5. Existing Site Plan

6. Overall Conceptual Floor Plan
7. Conceptual Floor Plan for New Multipurpose Activity Center
8. Conceptual Floor Plan for New Performance Hall/Center
9. Site Photographs



16-SU-13 - Location Map
4101 Sigma Road

FARMERS BRANCH

Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

0 460 920 Feet

▲ NORTH

Date: 5/25/2016

Zoning District Boundary
 Parcel Property Boundaries
 City Limit

Document Path: Z:\Zoning_Cases\2016 cases\16-SU-13_4101 Sigma (Parish School)\GIS\Location Map.mxd



Information MEMORANDUM

TO: Mayor and City Council
FROM: Charles Cox
City Manager
DATE: August 2, 2016
SUBJECT: Proposed Ordinance No. 3382 amending the Site Plan to the Specific Use Permit for Private School, including Athletic Facilities, granted by Ordinance No. 2879 to Parish Episcopal School to provide for the addition of a Multipurpose Activity Center, Performance Hall/Center and Soccer Field at the existing school campus at 4101 Sigma Road.

Overall Summary:

- *Multipurpose Activity Center (indoor gymnasium), attached to the existing main building: total of 22,400 sf, 38 feet in height*
- *Performance Hall, attached to the existing main building: total of 41,000 sf, maximum 65 feet in height*
- *Temporary outdoor soccer fields for practice*

Existing Conditions:

Parish Episcopal School is located on Sigma Road approximately 900 feet west of Midway Road and 700 feet north of Alpha Road. The irregular shaped tract of 56.32 acres is bordered on all sides by residential uses, limited stay hotels and ample green spaces. (See Aerial Map)

The site is located within PD-64. All school related uses require a Specific Use Permit within PD-64 zoning district. (See Location Map)

History:

In March 2001, a Specific Use Permit and associated site plan was approved for Parish Episcopal School to transform the existing building / property at 4101 Sigma Road into a private school including future athletic facilities. In 2006 City Council approved with Ordinance 2879 the Specific Use Permit to allow for modification of the athletic facilities and related improvements, building additions and other modifications and improvements to the site plan and landscape plan. Other minor amendments to detail and improve the site plan for Parish School were approved administratively in 2005, 2009, 2010 and 2016. The Site Plan approved with the Ordinance 2879 in 2006 contained a future expansion area for a gymnasium and an auditorium on the southern side of the main building. With this current SUP application that proposes a minor modification of this future expansion area, the Site Plan included in Ordinance 2879 will be replaced.

Existing Conditions:

Parish Episcopal School (Sigma Road Campus) has been open since August 2002 and now includes grades 3rd through 12th beginning of August 2006. The school accommodates approximately 900 students and 193 faculty and employees.

The campus currently includes:

- Main building with classrooms, offices and cafeteria. (346,322 sf)
- Outdoor chapel (1,364 sf)
- Exterior sports complex with locker rooms, restrooms, storage, guard house and ticket booth. The sports complex includes a football / soccer field with 3,024 seats, baseball field with 200 seats, softball and baseball fields with portable bleachers.
- Outdoor playground areas (See Existing Site Plan)

Site Design:

The Site Plan approved with the Specific Use Permit in 2006 contained a future expansion area for a gymnasium and an auditorium on the southern side of the main building. (See Existing Site Plan)

With this current SUP application, Parish Episcopal School slightly modifies this future expansion area. This expansion will include the addition of new facilities at the existing school campus as follows:

- An indoor multipurpose activity center (gymnasium) attached to the main building towards the existing semi-open courtyard on the south side of the building.
- An indoor performance hall attached to the main building on the eastern side.
- Temporary outdoor soccer fields east of Sigma Drive towards Midway Road. (See Proposed Site Plan)

Multipurpose Activity Center:

The new indoor gymnasium and support spaces will be approximately 22,400 square feet and will be connected and accessible from the existing main school building. This new one-level gymnasium will be 38 feet in height. The conceptual proposed floor plan for this new

multipurpose activity center includes restrooms and other support spaces, storage and bleachers for maximum 800 seats. (See Conceptual Floor Plan for Activity Center)

The Performance Hall/Center:

The new performance hall will be approximately 41,000 square feet and will be attached to the southeastern side of the existing main building. The building will have a dedicated main access through a lobby directly from the exterior and will also have a connection with the main lobby of the school through a glass corridor along the eastern side of the building. The performance center will be a combination of one-story and four-story levels with height varying from 30 feet to 65 feet.

The conceptual proposed floor plan for this new performance hall includes a main theater, open on three levels, with 612 seats and a smaller one-story theater with 116 seats at the first floor and a film screening room with 142 seats at the second level. The maximum occupancy of the entire performance center will be 870 seats. The performance center will include restrooms, offices, dressing rooms, rehearsal studios and storage spaces for all theaters. (See Conceptual Floor Plans for Performance Hall/Center)

Temporary Outdoor Soccer Fields:

Earlier this year, staff administratively approved a temporary soccer field and practice field in the area located east of Sigma Road and west of Midway. With this SUP, Parish Episcopal School is requesting the formal approval of this soccer field. The total area of the soccer fields is 355 ft. by 170 ft. and is located 67 feet from Sigma Road and 215 feet from Midway Road. The field is secured on all sides by an 8-foot tall chain link fence and 16-foot high net. Near Midway Road, the applicant has installed a landscape strip comprised of Bufford Holly shrubs for privacy and protection of the soccer field from adjacent parcels.

Overall Site Plan:

With the building additions, the overall site plan amendment improvements also include:

- the redesign of the existing fire lane in the semi-open courtyard to fit the new layout with the gymnasium addition;
- landscape improvements along the eastern side of the building to accommodate the new performance hall;
- new crosswalk with flashing light for safe-crossing for pedestrians across Sigma Road and a connection to the soccer practice fields to the school area. (See Site Plan)

Elevations:

The new proposed additions will complement the architecture and finishes of the existing school campus. The existing main building is an articulation of one to four-stories tall and is a combination of structural steel frame, reinforced concrete frame and masonry block tilt wall. The proposed gymnasium will be a tall one-story building and the proposed performance hall will be

a combination of one-story and four-story portions varying in height from 30 feet, 38 feet and 65 feet. The entire additions will be concrete tilt wall painted to match the existing building. Other exterior finishes and accents include wood panels and metal canopies. Glazing strips are proposed on the eastern elevation which is visible from public spaces. (See Elevations and Renderings).

Operation:

All of the new proposed changes to the school campus will support the existing programs that have outgrown their current spaces. The new Multipurpose Activity Center will be used daily for Physical Education classes and sports practices and periodically for talent shows, robotics tournaments and other all-school gatherings. The new Performance Hall/Center will be used for student musical performances, dance recitals and band concerts as well as lectures and class meetings. The soccer field will be used for Physical Education classes and for K-6th grade soccer practice. This additions will not increase the current number of students, faculty or employees.

The Multipurpose Activity Center and Performance Hall/Center will be used Monday through Friday from 6 am to 9 pm, Saturday from 8 am to 6 pm and Sunday from 12 pm to 6 pm. The soccer fields will be used Monday through Friday from 8 am up to one hour before sunset.

Parking:

In August 2006, with the addition of the football stadium, Parish Episcopal School retained an engineering firm to assess the school's parking needs with the new additions at that time and they submitted a parking study to the City. The study recommended the minimum total number of parking spaces to be based on the maximum football stadium seating capacity (the largest place of assembly). The parking ratio proposed was 1 space per 3.5 seats. This parking ratio was accepted by the City.

Currently the school has 743 existing parking spaces distributed in four parking lots inside the school campus. A future parking lot containing 188 parking spaces is designated for two other locations inside the school campus (See Site Plan).

The current parking count meets the needs of the school given the combination of uses and facility timing. In the future, if the parking needs of the school exceed the current availability, the school will install the future parking lot area according to the Site Plan. Based on observation of the parking needs of the school, staff is in support with the current agreement.

Landscaping:

The applicant is proposing to improve the existing landscaping on the eastern side of the building along the proposed performance hall/center location. The proposed Landscape Plan includes the addition of 14 new trees. The proposed tree list includes Shumard Oak, Live Oak and Bald Cypress. The landscaping also includes a combination of shrubbery and ground covers. (See Landscape Plan)

Signage:

The applicant has proposed installing three wall signs on the south and east elevations of the two new building additions. The southern elevations, visible only from the interior private driveway, will include a recessed letter sign / directional sign (16 feet by 41 feet) and a sports team logo (Panther Head) painted on the tilt wall (13 feet by 18 feet). The eastern elevations will include the school logo on the upper side of the four-story façade of the performance hall/center (18 feet by 15 feet). Considering the quality of the proposed wall signs, the existing signage installed throughout the Parish School Campus and the low visibility from public view, staff is in support of the proposed wall signs included in this SUP request. (See Elevations)

Comprehensive Plan:

The City of Farmers Branch is currently in the process of updating its 1989 Comprehensive Plan with the creation of the Eastside Plan to complete the suite of Comprehensive Plan updates the city successfully accomplished with the Central Area Plan in 2012 and the Westside Plan in 2003. The Eastside Plan hopes to enable the transformation of certain portions of the existing industrial profile of the east side and infuse a more urban character in certain areas. Within this vision, the Eastside Plan aims to create a better and more diverse mix of uses along Midway Road and to create a smoother transition between the city's central residential area into the more active east side. Parish Episcopal School, a strong school campus located at the limit of the central area and east side, is a great asset that contributes to this future vision. This SUP request is consistent with the future vision of the eastside Plan.

Thoroughfare Plan:

Both Midway Road and Sigma Road are developed at the full width according to Farmers Branch Thoroughfare Plan. No improvements to Sigma Road and Midway Road are planned or budgeted at this time.

Public Response:

Eighty (80) zoning notification letters were mailed to the surrounding property owners on June 15th, 2016. Two (2) zoning notification signs were also placed on the site on the same day. A public notice ad was placed in Dallas Morning news on July 15th. As of July 25th, 2016 one letter of opposition to this Specific Use Permit request has been received by the City.

Possible Council Action:

1. I move to adopt Ordinance No. 3382.
2. I move to adopt Ordinance No. 3382 with the following modification(s)...
3. I move to table the item or take no action.



ORDINANCE NO. 3382

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ZONING MAP OF THE CITY OF FARMERS BRANCH, TEXAS, BY AMENDING THE SITE PLAN ADOPTED AS EXHIBIT “C” TO ORDINANCE NO. 2879 GRANTING A SPECIFIC USE PERMIT FOR A PRIVATE SCHOOL INCLUDING ATHLETIC FACILITIES FOR THE PROPERTY DESCRIBED IN EXHIBIT “A” OF SAID ORDINANCE (COMMONLY KNOWN AS 4101 SIGMA ROAD) WHICH IS LOCATED IN PLANNED DEVELOPMENT NO. 64 (PD-64) DISTRICT TO PROVIDE FOR THE ADDITION OF BUILDINGS TO BE USED AS A MULTI-PURPOSE ACTIVITIES CENTER AND A PERFORMANCE HALL, RESPECTIVELY, AND ADDING TEMPORARY OUTDOOR SOCCER FIELDS; PROVIDING A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the laws of the State of Texas and the ordinances of the City of Farmers Branch, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THAT:

SECTION 1. The Comprehensive Zoning Ordinance and zoning map of the City of Farmers Branch, Texas, be, and the same is hereby amended, so as to grant a change in zoning by amending as follows the Site Plan set forth as Exhibit “C” to Ordinance No. 2879 granting a Specific Use Permit for a Private School including Athletic Facilities for the property described in Exhibit “A” of said ordinance (commonly known as 4101 Sigma Road) which is located in Planned Development No. 64 (PD-64)(“the Property”):

- A. Page 1 of Exhibit “C” of Ordinance No. 2879 (being Page 9 of 15 of said ordinance) is amended in its entirety as set forth in Attachment 1, attached hereto and incorporated herein by reference.
- B. Exhibit “C” of Ordinance No. 2879 is amended by adding a Landscape Plan as set forth in Attachment 2, attached hereto and incorporated herein by reference relating to the

development of the Multi-Purpose Activities Center and Performance Hall.

- C. Exhibit "C" of Ordinance No. 2879 is amended by adding the Building Renderings and Elevations as set forth in Attachment 3, attached hereto and incorporated herein by reference, inclusive of the illustration of the location and size of wall signs placed on said buildings, which shall be controlling over any conflict with the development standards for Planned Development No. 64 (PD-64).

SECTION 2. The Property shall continue to conform in operation, location and construction in accordance with the development standards established for Planned Development No. 64 (PD 64) and the Specific Use Permit granted in Ordinance No. 2879, as said development standards are amended by this Ordinance.

SECTION 3. In the event of an irreconcilable conflict between the provisions of another previously adopted ordinance of the City of Farmers Branch and the provisions of this Ordinance as applicable to the use and development of the Property, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. An offense committed before the effective date of this ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, ON THIS THE 2ND DAY OF AUGUST, 2016.

ATTEST:

APPROVED:

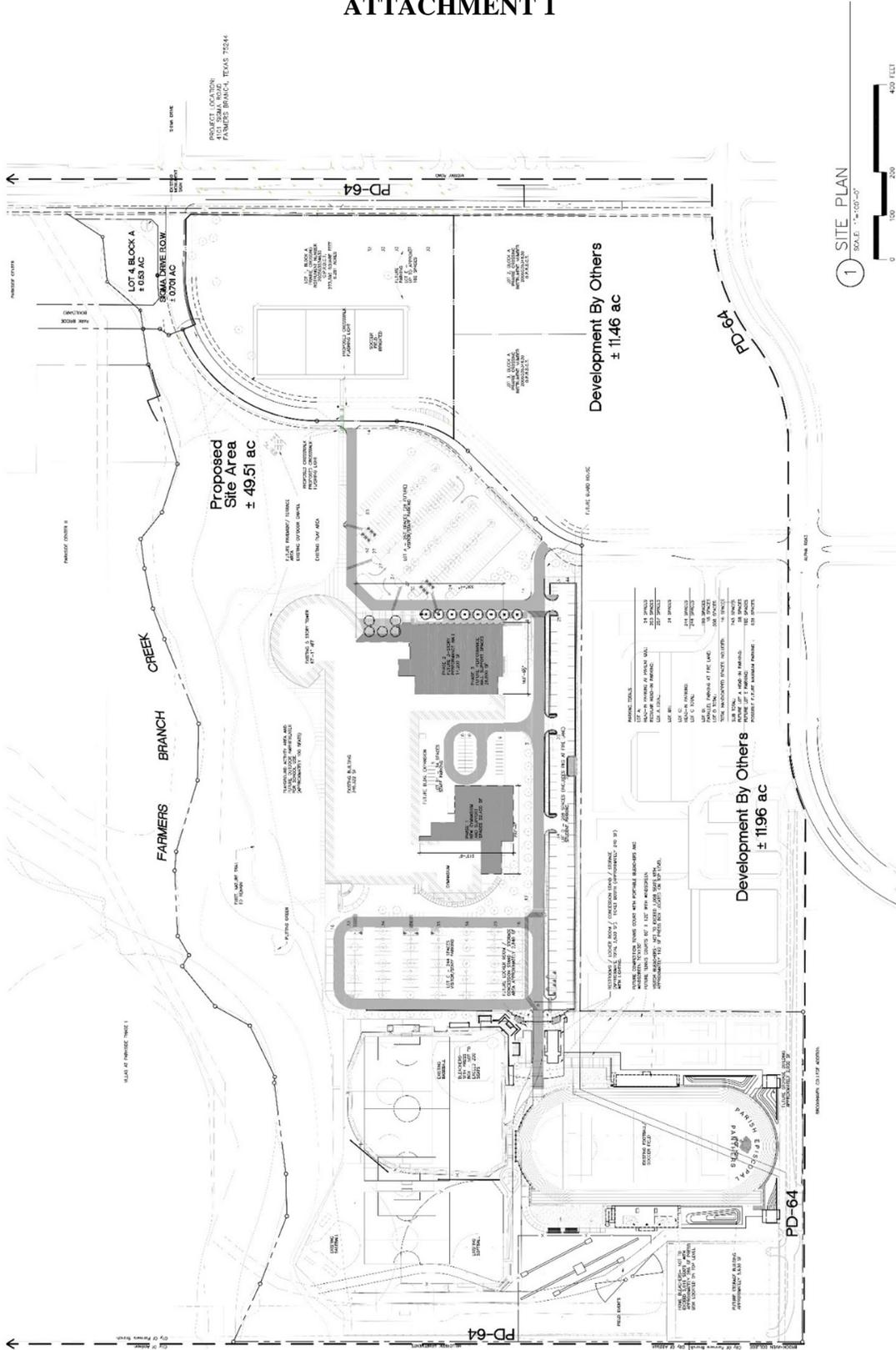
Amy Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

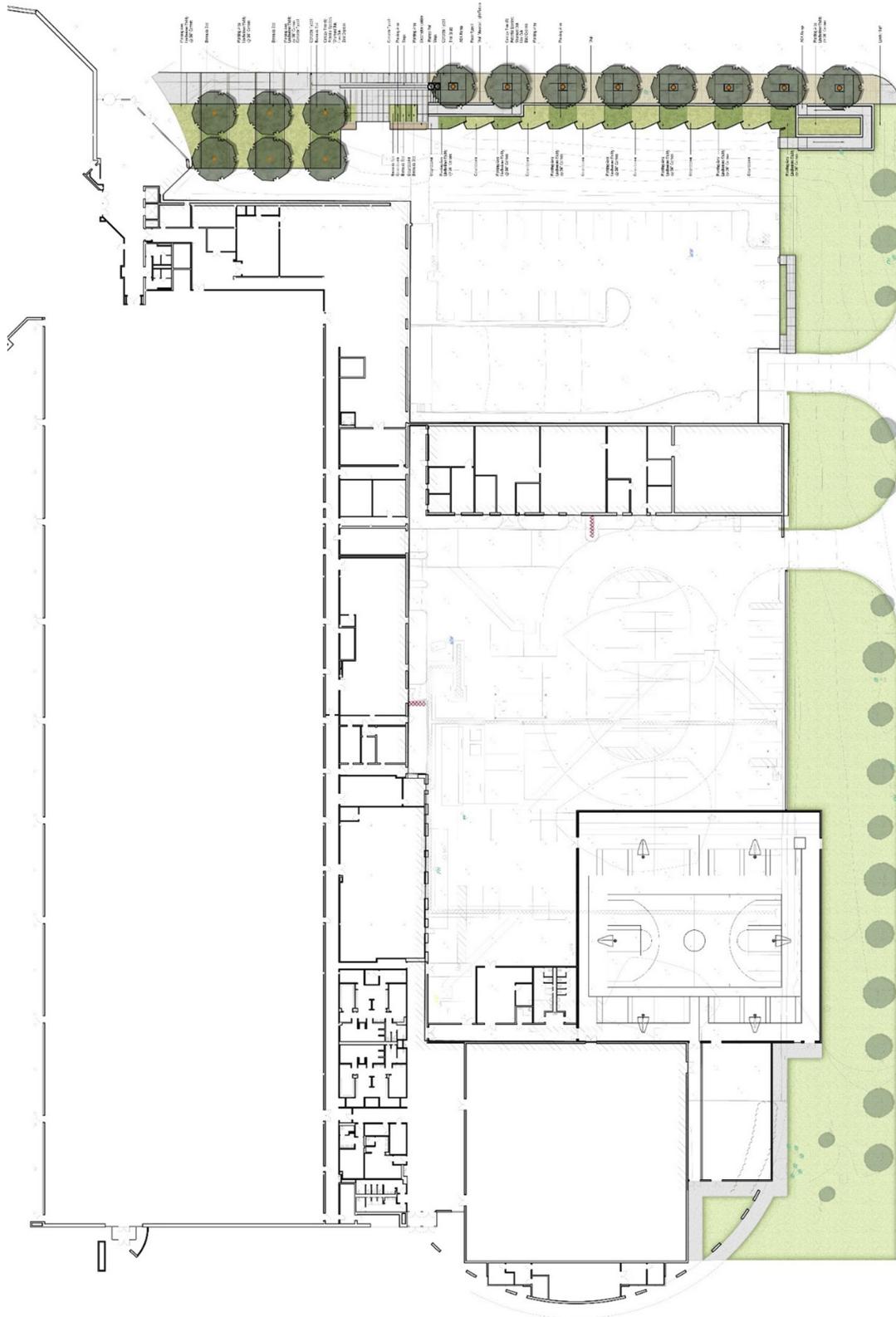
Peter G. Smith, City Attorney
(kbl:7/22/16:77981)

Ordinance No. 3382 ATTACHMENT 1



1 SITE PLAN

Ordinance No. 3382
ATTACHMENT 2



**Ordinance No. 3382
ATTACHMENT 3**



Conceptual Design - Performing Arts Center

John E. Ockold
Reg. No. 11184

R. Andrew Bennett
Reg. No. 18129

Parish Episcopal School

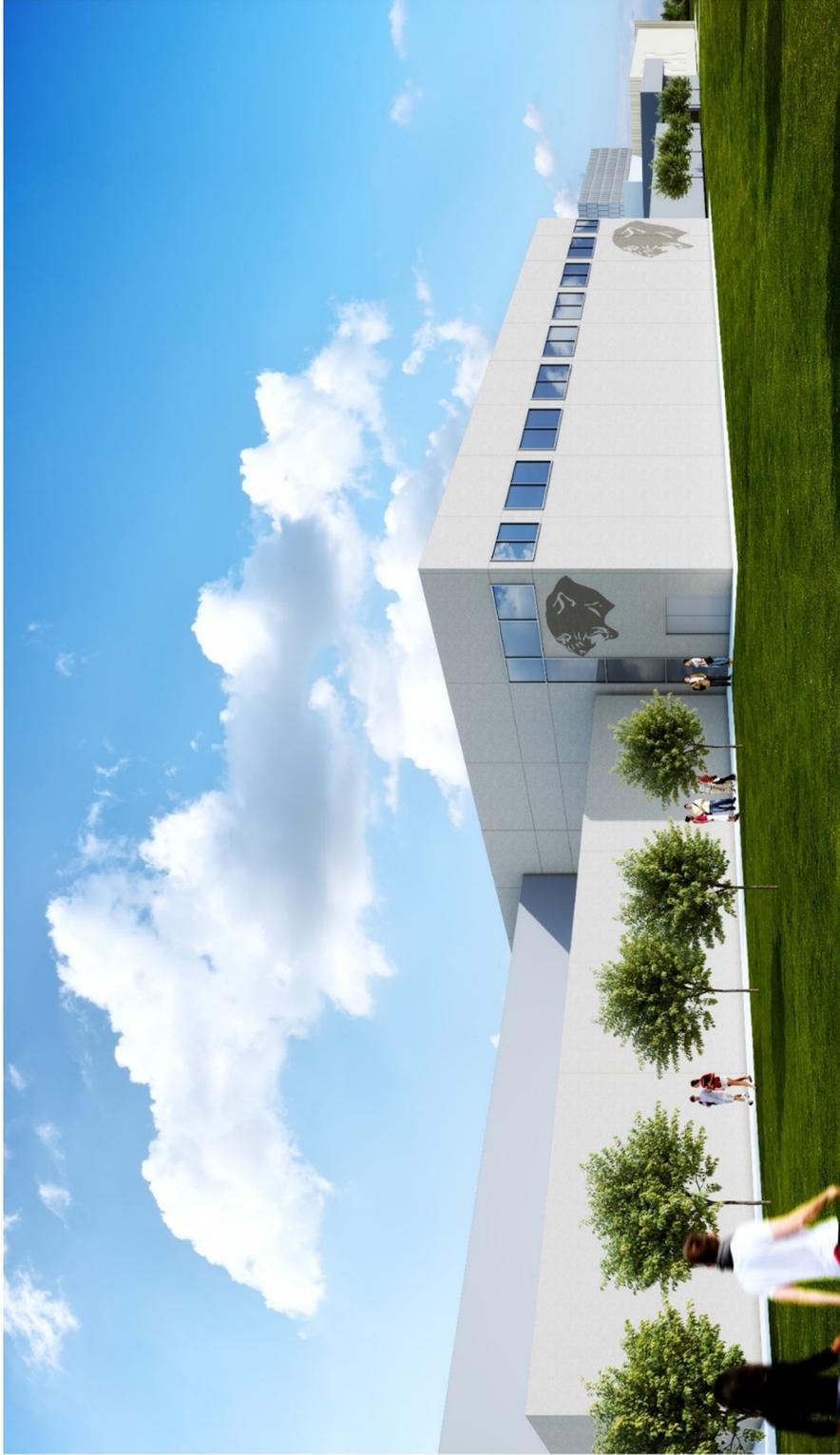
Renderings
May 5, 2016

Page 1



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**Ordinance No. 3382
ATTACHMENT 3 (cont.)**



Proposed Gymnasium

Parish Episcopal School

John E. Coffield
Reg. No. 11184

R. Andrew Barnett
Reg. No. 18129

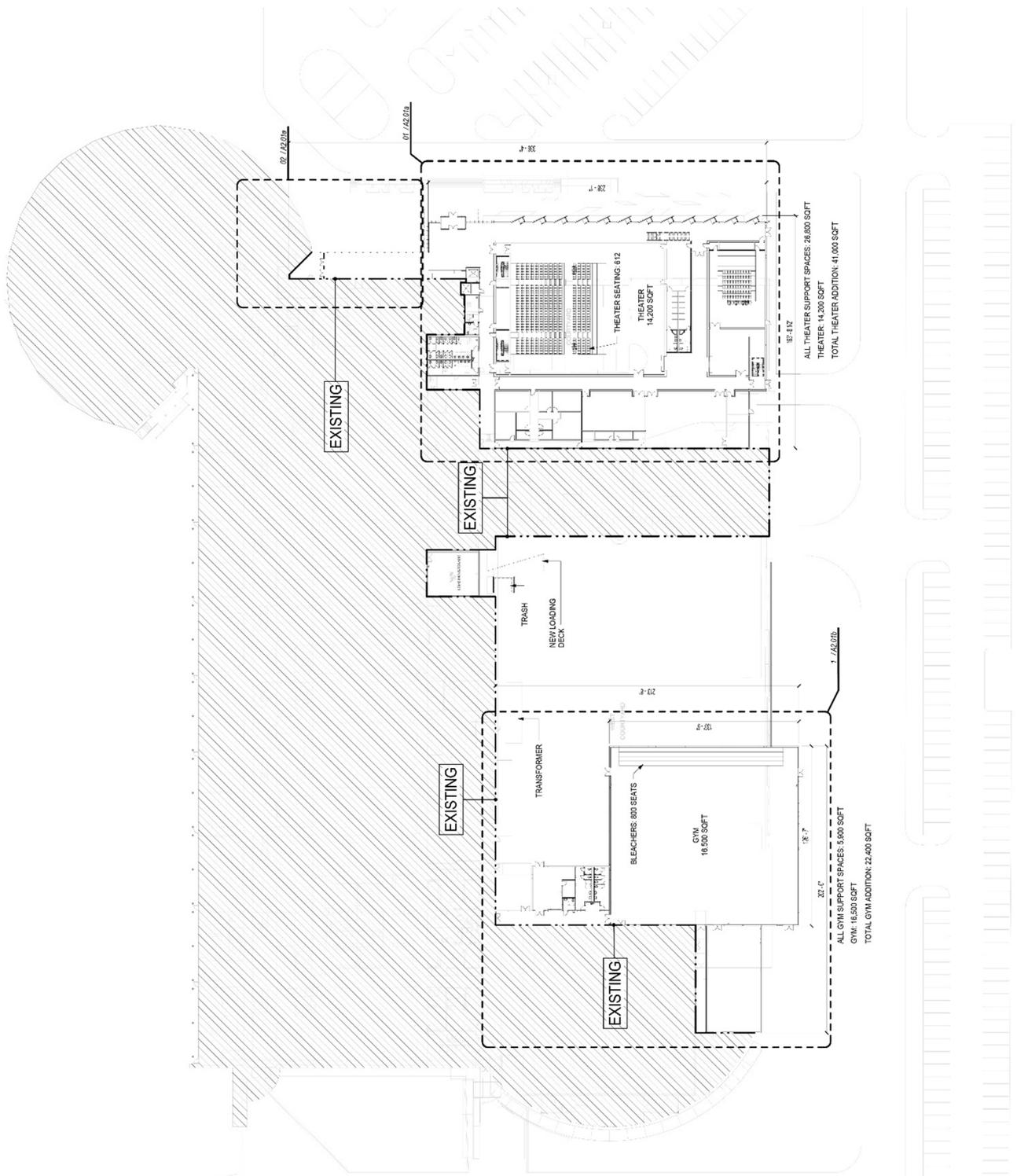
Renderings
May 5, 2016

Page 2

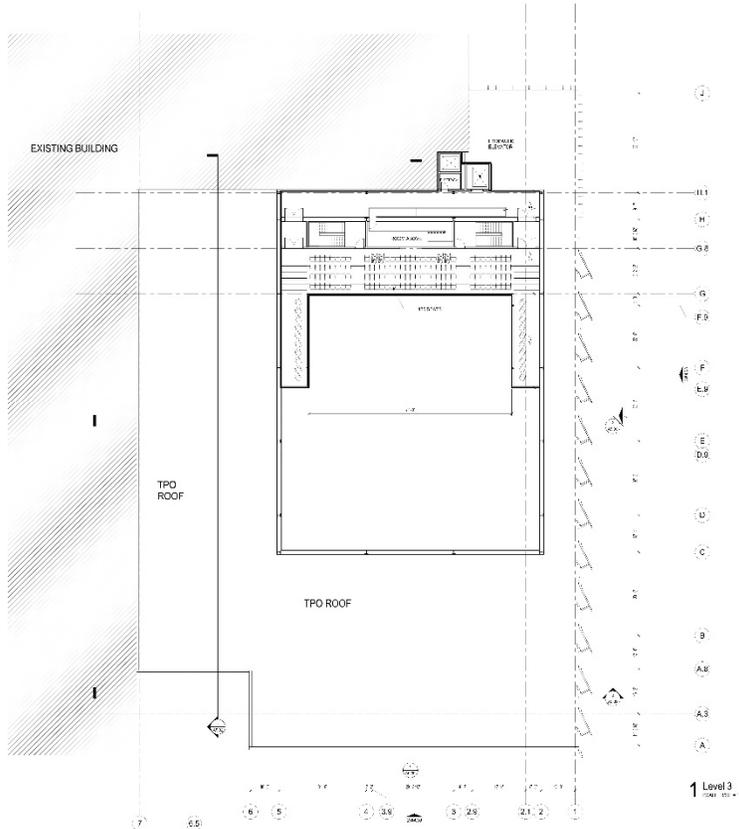


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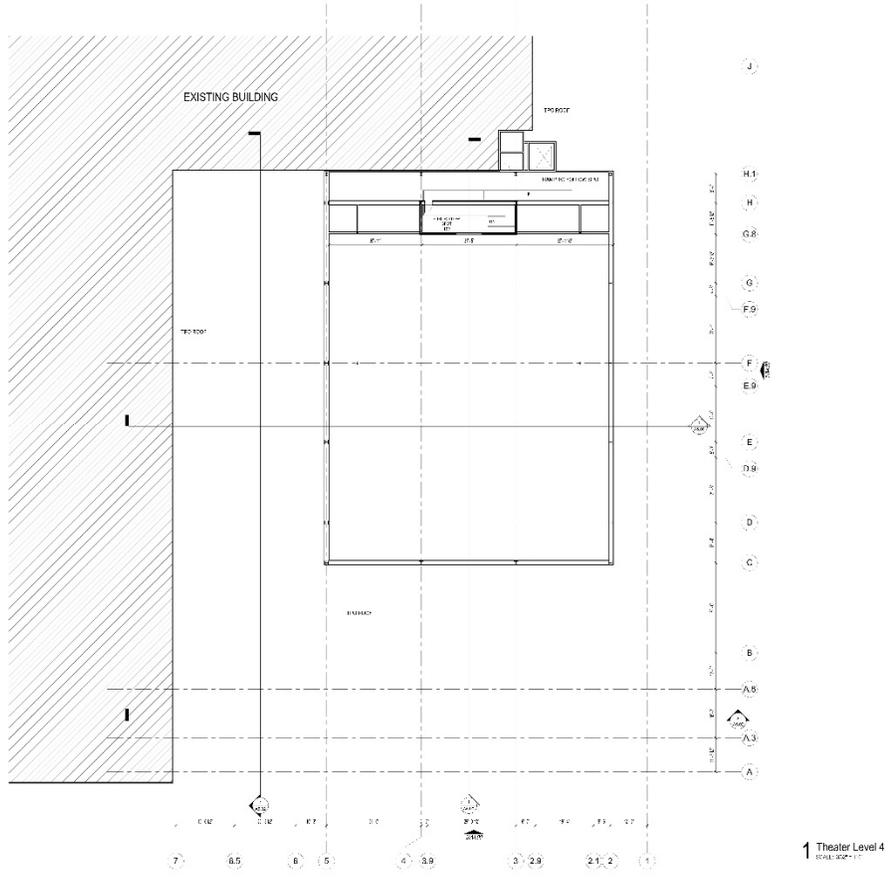
Overall Conceptual Building Plan



100% CONTRACT DOCUMENTS, INC. 11000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202



100% CONTRACT DOCUMENTS, INC. 11000 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202



Site Photographs





City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: ORD-3383

Agenda Date: 8/2/2016

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Ordinance

Agenda Number: H.3

Conduct a public hearing and consider adopting Ordinance No. 3383 amending the Regulating Plan for Street Types of the Planned Development District No. 86 (PD-86) Station Area Code; and take appropriate action.

BACKGROUND:

In response to the recent Detailed Site Plan request for a townhome development located in the northern portion of the block between Bee, Vintage and Goodland Streets, staff has reviewed the Regulating Plan - Street Types of PD-86 and determined that the proposed cross section for the section of Vintage Street between Bee and Goodland Streets will need to change from "Street 66" to proposed "Street 58" configuration, to better accommodate the needs of the townhome development.

DISCUSSION:

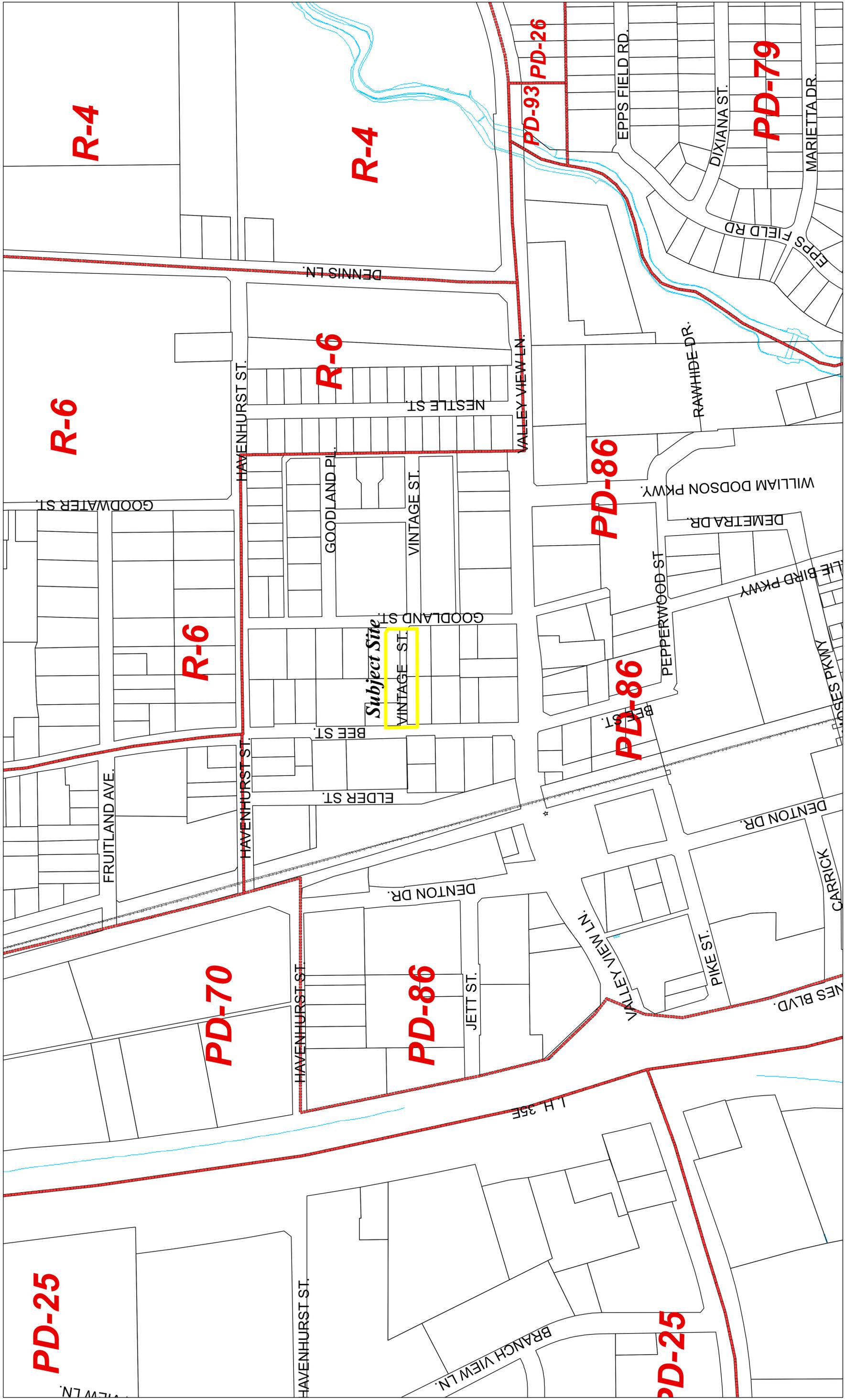
The intent of this proposed amendment is to change the street type for the portion of Vintage Street between Bee and Goodland Streets to "Street 58" configuration that proposes a narrower street right-of-way, therefore to minimize the impact of the land dedication needed for properties along this section of Vintage Street. This amendment will change only one exhibit of the "Station Area Code" (PD-86): the Regulating Plan - Street Types. There are no proposed changes to the text of the "Station Area Code" (PD-86) or to any other exhibits within this current zoning amendment.

RECOMMENDATION:

On July 11th 2016, the Planning and Zoning Commission voted to recommend approval of the zoning amendment as described in the Ordinance No. 3383.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Information Memorandum
4. Ordinance No. 3383
5. Regulating Plan - Street Types, approved 2012



Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

16-ZA-06 - Location Map

Vintage Street between Bee and Goodland Streets

-  Zoning District Boundary
-  Parcel Property Boundaries
-  City Limit





Subject Site

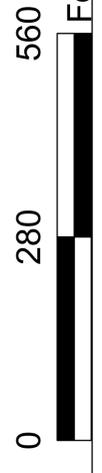
16-ZA-06 - Aerial Map

Vintage Street between Bee and Goodland Streets

Parcel Property Boundaries
 City Limit



Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.





Information MEMORANDUM

TO: Mayor and City Council
FROM: Charles Cox
City Manager
DATE: August 2, 2016
SUBJECT: Proposed Ordinance 3383 to approve the amendment of the Planned Development District No 86 (PD-86) / Station Area Code

The Planned Development District No. 86 (PD-86) zoning district, also known as the “Station Area Code”, was created to foster a vibrant town center through a lively mix of uses, densely built and pedestrian friendly. In order to achieve the vision, set forth in both 2002 and 2012, development within the area is regulated by the Form-Based Code and the Conceptual Master Plan. The Farmers Branch Station Area Form-Based Code adopted in 2005, amended in 2009 and 2012, codified the concepts of the Conceptual Master Plan to ensure development is consistent with the overall vision and to allow for design flexibility throughout the district.

The “Station Area Code” (PD-86) is comprised of the following; Regulating Plan, Street Type Specifications, Building Envelope Standards, Streetscape Standards, Architectural Standards and Definitions. The proposed zoning amendment is referring to the Street Type Specifications of the Regulating Plan.

Existing Conditions:

In response to the recent Detailed Site Plan request for a townhome development located at the northern portion of the block between Bee, Vintage and Goodland Streets, city staff has reviewed the “Station Area Code” (PD-86) proposed street types for the streets surrounding the subject site and determined that revisions were necessary. To accommodate the townhome development, staff considered the existing traffic volumes and existing street configuration as well as the street widths in order to provide for the needs of the proposed development. Currently, the Regulating Plan – Street Types within PD-86 classifies Vintage Street as “Street 66” configuration. Staff

determined that the proposed street type for the portion of Vintage Street between Bee and Goodland Street should be changed from “Street 66” to “Street 58” configuration standards.

The current configuration of Vintage Street is a 20 feet wide right-of-way comprised of two 10-foot traffic lanes that are undivided.

PD-86 “Street 66” configuration requires two 11 feet wide traffic lanes and 7 feet wide on-street parking spaces, 10 feet wide sidewalk space comprised of 6 feet of tree area plus 4 feet of clear sidewalk on each side of the street. These street elements add up to a 56 feet wide street right-of-way.

PD-86 “Street 58” configuration requires two 11 feet wide traffic lanes and 7 feet wide on-street parking spaces with alternating tree areas plus 6 feet clear sidewalk on each side of the street. These street elements add up to a 42 wide street right-of-way.

Proposed Amendments:

The intent of this proposed amendment is to change the street type for the portion of Vintage Street between Bee and Goodland Streets to “Street 58” configuration that proposes a narrower street right-of-way, therefore to minimize the impact of the land dedication needed for properties along this section of Vintage Street. This amendment will change only one exhibit of the “Station Area Code” (PD-86): the Regulating Plan - Street Types. (See Regulating Plan - Street Types, approved and proposed).

There are no proposed changes to the text of the “Station Area Code” (PD-86) or to any other exhibits within this current zoning amendment.

Public Response:

Twenty-three (23) zoning notification letters were mailed to the surrounding property owners on June 30th, 2016. Three (3) zoning notification signs were also placed on the site on the same day. A public notice ad was published in Dallas Morning News on July 15th. As of July 25th, no opposition has been received by the City.

Possible Council Action:

1. I move to adopt Ordinance No. 3383.
2. I move to adopt Ordinance No. 3383 with the following modification(s)...
3. I move to table the item or take no action.



ORDINANCE NO. 3383

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED; BY AMENDING THE PLANNED DEVELOPMENT NO. 86 (PD-86) ZONING DISTRICT, ALSO KNOWN AS THE FARMERS BRANCH STATION AREA FORM-BASED CODE, ORDINANCE NO. 2800, INCLUDING THE REGULATING PLAN, URBAN DESIGN PLAN, STREET TYPE PLAN AND ASSOCIATED TEXT; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR INJUNCTIVE RELIEF; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINENOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the laws of the State of Texas and the ordinances of the City of Farmers Branch, have given requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of the legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Zoning Map should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THAT:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, as amended, by amending as follows Planned Development No. 86 (PD-86) Zoning District (also known as the “Farmers Branch Station Area Form-Based Code, Ordinance No. 2800”), as amended:

- A. The Street Type for the portion of Vintage Street between its intersection with Bee Street and its intersection with Goodland Street is amended to be “Street 58”; and
- B. The illustration titled “Regulating Plan-Street Types”, set forth in Chapter II, Section C of Exhibit “C” to Ordinance No. 2800, as previously amended, is amended to conform to the amendment described in Paragraph A, above, as set forth in Attachment 1, hereto, and incorporated herein by reference.

SECTION 2. That all provisions of the ordinances of the City of Farmers Branch in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions of the ordinances of the City of Farmers Branch not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 4. An offense committed before the effective date of this ordinance is governed by prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 5. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 6. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such case provide.

DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, ON THIS THE 2ND DAY OF AUGUST, 2016.

APPROVED:

Bob Phelps, Mayor

ATTEST:

Amy Piukana, City Secretary

APPROVED AS TO FORM

Peter G. Smith, City Attorney
(kbl:7/23/16:77982)

Ordinance No. 3383 ATTACHMENT 1 Revised "Regulation Plan – Street Types"



This Plan indicates the locations of five street types within the Station Area. The streetscape standards (such as street widths, placement of street trees, and other amenities or appearances) associated with the different street types are featured on pages 28-32.

The purpose of the streetscape standards is to ensure coherent streets and to assist developers and owners with understanding the relationship between the public spaces and individual buildings.

- Valley View Lane (streetscape standards on page 29)
- Colonnade Street (streetscape standards on page 28)
- Deaton Street (streetscape standards on page 29)
- Street 66 (streetscape standards on page 31)
- Street 58 (streetscape standards on page 32)
- Promenade 46 & Pedestrian Pathway (streetscape standards on page 33)
- Streets to be Abandoned



Farmers Branch Station Area
Regulating Plan
Street Types

PROPOSED
 July 2016
 Adopted by Ordinance XXXX

Drawing for coding purposes only. Dimensions are subject to change. Consult Planning Division staff for specifications.

This Plan indicates the locations of five street types within the Station Area. The streetscape standards (such as street widths, placement of STREET TREES, and other amenities or appurtenances) associated with the different street types are featured on pages 28-32.

The purpose of the streetscape standards is to ensure coherent STREETS and to assist developers and owners with understanding the relationship between the public spaces and individual buildings.

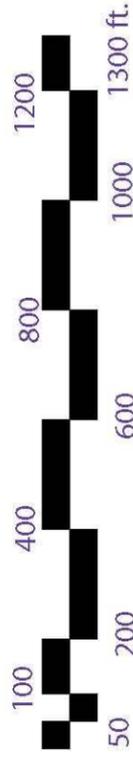
-  Valley View Lane (streetscape standards on page 29)
-  Colonnade Street (streetscape standards on page 28)
-  Denton Street (streetscape standards on page 30)
-  Street 66 (streetscape standards on page 31)
-  Street 58 (streetscape standards on page 32)
-  Promenade 46 & Pedestrian Pathway (streetscape standards on Page 33)
-  Streets to be Abandoned

February 2012
Adopted by Ordinance 3184

Farmers Branch Station Area
Regulating Plan
Street Types



 A Comfortable 5 minute walk



Drawing for coding purposes only. Dimensions are subject to change. Consult Planning Division staff for specifications.



Farmers Branch Lane





City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-066

Agenda Date: 8/2/2016

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Resolution

Agenda Number: H.4

Conduct a public hearing and consider approving Resolution No. 2016-066 approving a townhome development located at the northern portion of the block between Bee, Vintage and Goodland Streets; and take appropriate action.

BACKGROUND:

The applicant has proposed the development of 41, three-bedroom townhome units, three stories in height within five buildings. All townhomes will be sold individually and anticipated to be owner-occupied. This 1.668-acre site is comprised of five lots that form the northern portion of the block between Bee, Vintage and Goodland Streets. The site is surrounded by commercial and light industrial land uses to the south and west and by residential land uses to the north and east. This site is located in the Planned Development District No. 86 (PD-86) / Station Area Code. The proposed Site Plan request includes Special Exceptions.

DISCUSSION:

With this proposal for a townhome development, the site will be designed to comply with PD-86 Regulating Plan requirements, therefore all the surrounding streets will be reconfigured to meet the Form Based Code's requirements. In order to meet PD-86's Street Type requirements, the applicant is proposing right-of-way dedication for the new street configuration on three sides of the site.

Due to the unique challenges of this particular location: the existing street configuration that requires the dedication of large portions of the property, this proposed Site Plan requires a series of Special Exceptions. Considering the technical details of this site, the developments needs and especially the guiding principles of PD-86, "Station Area Code": buildings shall be aligned and designed closer to the streets, pedestrian supportive qualities, the coherence of the street space and the high architectural standards, city staff is supporting all proposed Special Exceptions associated with this Detailed Site Plan.

RECOMMENDATION:

On July 11th 2016, the Planning and Zoning Commission voted to recommend approval of the Detailed Site plan including all Special Exceptions as described in the Resolution No. 2016-066.

ATTACHMENTS:

1. Location Map
2. Aerial Map
3. Information Memorandum
4. Resolution No. 2016-066
5. Floor Plan
6. Site Photographs



Subject Site



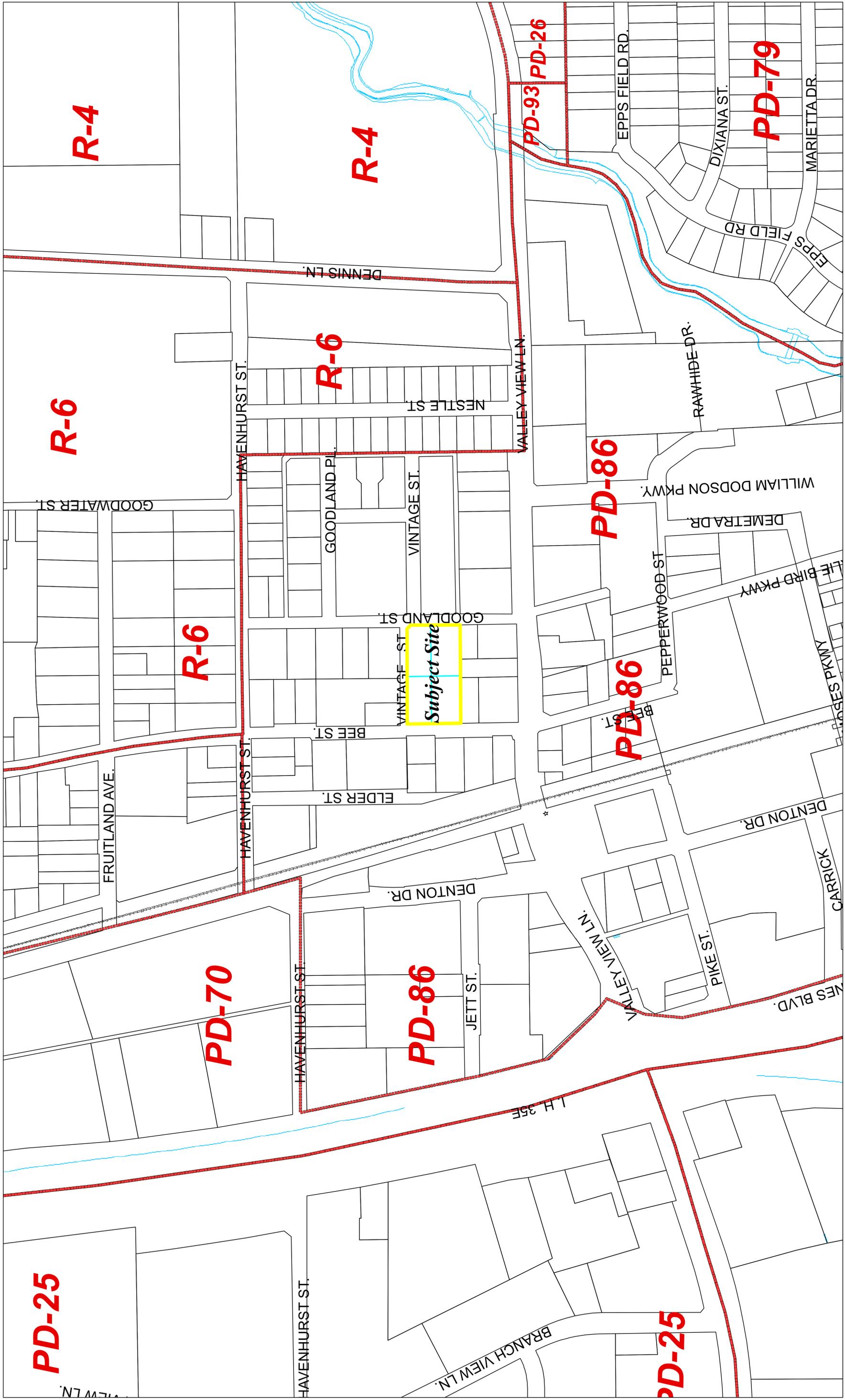
Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

16-SP-07 - Aerial Map

13226 and 13218 Bee St., 13225 and 13217 Goodland St.

Parcel Property Boundaries
 City Limit





Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data. For pictorial reference only.

-  Zoning District Boundary
-  Parcel Property Boundaries
-  City Limit

16-SP-07 - Location Map

13226 and 13218 Bee St., 13225 and 13217 Goodland St.





Information MEMORANDUM

TO: Mayor and City Council
FROM: Charles Cox
City Manager
DATE: August 2, 2016
SUBJECT: Proposed Resolution No. 2016-066 to approve a Detailed Site Plan for a townhome development

Summary:

Site design: *41 townhome units in five buildings, all three-bedroom units, all three stories in height*

Masonry: *75% brick*

Parking: *two-car garages for each unit, 10 parking spaces on-site and 16 on-street parking spaces*

Landscape: *approximately 9% of the site, 33 new trees*

Special Exceptions: *to better accommodate the street right-of-way dedication required along all three streets and the design needs of the proposed townhome development*

Existing Conditions:

This 1.668-acre site is comprised of five lots that form the northern portion of the block between Bee, Vintage and Goodland Streets. (See Aerial Map) The site is located approximately 200 feet north of Valley View Lane and 300 feet from the DART railway. The site is surrounded by commercial and light industrial land uses to the south and west and by residential land uses to the north and east. This site is located in the Planned Development District No. 86 (PD-86) / Station Area Code. (See Location Map)

Currently the five lots comprising the subject site are occupied by three, one and two story buildings. The two lots along Bee Street are used as a day care center, a single family home is located at the corner of Vintage and Goodland Streets and the southeastern lot along Goodland Str. is not developed. (See Aerial Map)

Proposal:

The applicant is proposing a 41-unit townhome development, within five buildings. All buildings will consist of three bedroom units. All townhomes will be sold individually and anticipated to be owner-occupied. The units will be 3-stories in height (39 feet), with each unit averaging 1,645 square feet. All units will be 20 by 40 feet and will contain bedrooms on the first and third floors and a more active area (with the living room, dining room and kitchen) on the second floor. Every townhome will have an individual entrance and a 2-car garage with a rear access. (See Floor Plans)

The total of the five buildings proposed is approximately 93,537 square feet. (See Site Plan)
The overall building coverage is divided into five buildings of townhome units as follows:

- The western building along Bee Street (Building A) is comprised of eight units and is approximately 18,360 square feet
- The northern building along Vintage Street (Building B) is comprised of nine units and is approximately 20,655 square feet
- The eastern building along Goodland Street (Building C) is comprised of eleven units and is approximately 25,242 square feet
- The southeastern building (Building D) is comprised of four units and is approximately 8,625 square feet
- The central building along the interior drive (Building E) is comprised of nine units and is approximately 20,655 square feet.

The estimated value of this proposed project is approximately \$10,000,000.

Overall Site Plan:

With this proposal for a townhome development, the site will be designed to comply with PD-86 Regulating Plan requirements, therefore all the surrounding streets will be reconfigured to meet the Form Based Code's requirements. The "Regulating Plan - Street Types" designated Bee and Vintage Streets for "Street 66" configuration and Goodland Street for "Street 58" configuration. (See PD-86 Regulating Plan - Street Types, 2012)

The proposed "Street 66" and "Street 58" configurations (2 lanes, on-street parking, planting areas along the curb and sidewalks) are different than the existing street cross sections and propose a wider street right-of-way. Due to the configuration of this site and the needs of the proposed development, the City initiated a zoning amendment to change the Regulating Plan, Street Types within PD-86 to allow for a proposed "Street 58" configuration for the section of Vintage Street between Bee and Goodland Streets. (See PD-86 Regulating Plan - Street Types, proposed 2016)

In order to meet PD-86's Street Type requirements, the applicant is proposing right-of-way dedication for the new street configuration on three sides of the site. (See Overall Site Plan) The proposed 0.153-acre right-of-way dedication along the streets will be as follows:

- approximately 8 feet strip along Bee Street,
- approximately 19 feet along the western portion of Vintage Street and approximately 9 feet along the eastern portion of Vintage Street,
- approximately 4 feet along Goodland Street

Site Design:

The Site Plan proposes approximately 51% building coverage. All buildings along the streets (Building A, B and C) will be setback 2.5 feet from the property line. The applicant will install sidewalks and landscaped islands along all three streets. Existing power poles (along Bee and Goodland Streets and internally within the property) will be removed and power lines will be placed underground, all existing light poles along Goodland Street will be relocated in the proposed landscape islands.

Parking:

Building D and E will have access from an interior driveway that connects from Vintage Street into two access points. A visitors' parking lot with 10 parking spaces is proposed along the southern side of the property. There are 16 on-street parking spaces proposed along all three streets as well. Every townhome will have an individual entrance and a 17 x 20, 2-car garage with rear access. The proposed development complies with the PD-86 requirements. (See Floor Plan)

Elevations:

All façades will be a combination of brick and stucco. All façades will be at least 75% masonry. The remaining 25% is a combination of stucco. The proposed fenestration of the elevations varies around 33%. All units will have inset entry areas and balconies at the upper levels and rear garage entries. All buildings will have pitched roofs with a slow slope (1"/12"), the roof material will be Thermoplastic polyolefin (TPO) roofing membrane. (See Elevations and Renderings)

Landscaping:

Approximately 9% of the site is proposed to be landscaped open space, exceeding the PD-86 requirements. The vegetation will be distributed along the three streets and along the southern property line. The applicant has proposed a combination of Oak, Elm, Pistachio and Crape Myrtle trees, high and dense shrubs and ground covers.

Currently there are 26 mature trees on site that will need to be replaced with this proposed redevelopment. The applicant is proposing to install 33 new trees to compensate for the removal of the existing trees. All large trees (Oak, Elm and Pistachio) will be distributed along the three streets in landscape islands concentrated according to PD-86 street cross section requirements.

Staff supports the tree replacement proposal, considering the landscape plan places the new trees along public streets offering a better curb appeal and better street view.

The tree wells along Bee Street will be covered with ADA compliant tree grates to enhance the sidewalk width. A dense vegetation privacy wall (Photinia shrub) will be installed along the southern property line. (See Landscape Plan)

Signage:

No signage is proposed with this Detailed Site Plan application.

Special Exceptions:

Due to the unique challenges of this particular location: the existing street configuration that requires the dedication of large portions of the property, this proposed Site Plan requires a series of Special Exceptions. Considering the technical details of this site, the developments needs and especially the guiding principles of PD-86, “Station Area Code”: buildings shall be aligned and designed closer to the streets, pedestrian supportive qualities, the coherence of the street space and the high architectural standards, city staff is supporting all proposed Special Exceptions associated with this Detailed Site Plan.

The Special Exceptions are as follows:

Special Exception #1: Chapter 2: Regulating Plan

PD-86 street cross section requirements for “Street 66” (Bee Street) are: 5 to 8 feet building setback, 4 feet wide sidewalk, 6 feet wide landscape strip and 7 feet wide on-street parking spaces. To meet city standards for parking dimensions and to minimize the effect of the needed right-of-way dedication, the Site Plan proposes: 2.5 feet building setback, 4 feet wide sidewalk, 5 feet wide landscape strip and 8 feet wide on-street parking spaces along Bee Street.

PD-86 street cross section requirements for “Street 58” (Vintage and Goodland Streets) are: 5 to 8 feet building setback, 6 feet wide sidewalk and 7 feet wide on-street parking spaces that alternates landscape islands every 30 feet of street frontage. To meet city standards for parking dimensions and to minimize the effect of the needed right-of-way dedication, the Site Plan proposes: 2.5 feet building setback, 5 feet wide sidewalks and 8 feet wide on-street parking spaces and alternated landscape islands along Vintage and Goodland Street. (See Proposed Street Sections)

Staff supports Special Exception # 1

Special Exception #2: Chapter 3: Building Envelope Standards

PD-86 requires the first floor finished elevation of a minimum 30 inches above the exterior sidewalk elevation (to create a stoop/front porch). The Site Plan proposes the first floor finished elevations at the same level as the exterior sidewalk.

Staff supports Special Exception # 2

Special Exception #3: Chapter 3: Building Envelope Standards

PD-86 requires the first floor fenestration along Bee and Goodland Streets to be at least 40% of the façade area situated between 2 and 10 feet above the adjacent public sidewalk. The Site Plan proposes 35% first floor fenestration along Bee and Goodland Streets.

Staff supports Special Exception # 3

Special Exception #4: Chapter 3: Building Envelope Standards

PD-86 requires a maximum of 150 feet of street frontage for a continuous attached building along Vintage Street. The Site Plan proposes Building B, along Vintage Street, to be 180 feet long.

Staff supports Special Exception # 4

Special Exception #5: Chapter 3: Building Envelope Standards

PD-86 requires all units fronting Vintage Street to include a stoop or a front porch built 5 to 8 feet forward of the building setback line. The Site Plan proposes all units along Vintage Street with inset access areas and a narrow building setback line that will not allow elements to come forward into the sidewalk. This proposed design was imposed by the existing narrow configuration of Vintage Street and the necessity to meet PD-86 street cross section standards.

Staff supports Special Exception # 5

Comprehensive Plan:

The Planned Development District No. 86 zoning district, also known as the Station Area Form-Based Code was created to foster vibrant town center through a lively mix of uses, densely built and pedestrian friendly. The Farmers Branch Station Area Conceptual Master Plan was adopted in 2002. The Farmers Branch Station Area Form-Based Code adopted in 2005 and amended in 2009 and 2012 codified the concepts of the Master Plan to ensure development consistent with the vision and to allow for more design flexibility. Granting the requested Special Exceptions will facilitate development at this location that maintains consistency with the Code and the Conceptual Master Plan.

Thoroughfare Plan:

Bee, Vintage and Goodland Streets are developed at the full width according to Farmers Branch Thoroughfare Plan. No improvements for the three streets are planned or budgeted at this time.

Public Response:

Twenty-three (23) zoning notification letters were mailed to the surrounding property owners on June 30th, 2016. Three (3) zoning notification signs were also placed on the site on the same day. A public notice ad was published in Dallas Morning News on July 15th. As of July 27th, no letter of opposition has been received by the City.

Possible Council Action:

1. I move to adopt Resolution No. 2016-066.
2. I move to adopt Resolution No. 2016-066 with the following modification(s)...
3. I move to table the item or take no action.



RESOLUTION NO. 2016-066

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, APPROVING A DETAILED SITE PLAN, INCLUSIVE OF LANDSCAPE PLAN, STREET SECTIONS, BUILDING ELEVATIONS, AND SPECIAL EXCEPTIONS FOR PARTS OF LOTS 10, 11, AND 15 AND ALL OF LOTS 12 AND 13, BLOCK A, LONGMIRE'S ADDITION, CITY OF FARMERS BRANCH, LOCATED IN PLANNED DEVELOPMENT NO. 86 (STATION AREA CODE); AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application has been made for approval of detailed site plan for the property containing parts of Lots 10, 11, and 15 and all of Lots 12 and 13, Block A, Longmires Addition, City of Farmers Branch, and more particularly described in Exhibit "A," attached herein and incorporated herein by reference ("the Property") which is located in Planned Development No. 86 - (Station Area Plan – PD 86); and

WHEREAS, having received the recommendation of the Planning and Zoning Commission that the detailed site plan and associated drawings, including, but not limited to, a landscape plan and building elevations, should be approved as requested, the City Council of the City of Farmers Branch, in the exercise of the legislative discretion, has concluded that the requested site plan and special exceptions for the Property should be approved;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS THAT:

SECTION 1. The Property shall be developed substantially in accordance with the following exhibits, all of which are attached hereto and incorporated herein by reference:

- A. Site Plan (Overall and Detailed, respectively) as shown in Exhibit "A";
- B. Landscape Plan as shown in Exhibit "B";
- C. Street Sections as shown in Exhibit "C"; and
- D. Elevations as shown in Exhibit "D."

SECTION 2. In addition to the requirements set forth in Section 1, above, and having found that the following special exceptions are generally in keeping with the intent of the Regulating Plan set forth in PD-86:

- A. Notwithstanding the specifications for streets required to be developed as a "Street 66" in accordance with the Regulating Plan, the streetscape along Bee Street may be developed as shown on the Detailed Site Plan as follows:

1. Minimum front setback of 2.5 feet;
 2. Sidewalks with minimum width of four (4) feet;
 3. Landscape strip with minimum width of four (4) feet; and
 4. On-street parking spaces with minimum width of eight (8) feet.
- B. Notwithstanding the specifications for streets required to be developed as a “Street 58” in accordance with the Regulating Plan, the streetscape along Vintage Street and Goodland Street may be developed as shown on the Detailed Site Plan and/or Street Sections attached hereto as follows:
1. Minimum front setback of 2.5 feet;
 2. Sidewalks with minimum width of five (5) feet;
 3. On-street parking spaces with minimum width of eight (8) feet; and
 4. Alternating landscape islands as shown on the Street Sections.
- C. Notwithstanding anything to the contrary in Chapter III, Sections C and D of the Station Area Code (PD 86), as amended (Exhibit “C” to Ordinance No. 2800 as amended), the finished floor height of the first floor of all buildings may be at the same level as the adjacent sidewalk.
- D. Notwithstanding anything to the contrary in Chapter III of the Station Area Code (PD 86), as amended, (Exhibit “C” to Ordinance No. 2800 as amended), the first floor elevations along Bee Street may be designed and constructed with fenestration of not less than 35% of the entire first floor building façade.
- E. Notwithstanding anything to the contrary in Chapter III, Section D of the Station Area Code (PD 86), as amended (Exhibit “C” to Ordinance No. 2800 as amended), the length of Building B adjacent and parallel to the frontage of Vintage Street as shown on the Site Plan may be 150 feet.
- F. Notwithstanding anything to the contrary in Chapter III, Section D of the Station Area Code (PD 86), as amended (Exhibit “C” to Ordinance No. 2800 as amended), the ground floor entries to residential units fronting on Vintage Street are not required to be constructed with stoops constructed beyond the Required Building Line provided the entries are designed substantially in accordance with the design set forth on the Site Plan and Elevations attached hereto.

SECTION 3. This resolution shall become effective immediately upon its approval.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FARMERS
BRANCH, TEXAS, THIS 2ND DAY OF AUGUST, 2016.**

ATTEST:

APPROVED:

Amy Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

Peter G. Smith, City Attorney
(kbl:7/23/16:77983)

Resolution No. 2016-066 Exhibit "A" – Site Plan (Overall)

 <p style="text-align: center;">CONSULTANTS, LLC LAND SURVEYING LANDSCAPE ARCHITECTURE 11717 FARMING COUNTESS BLVD. SUITE 100 DALLAS, TEXAS 75242 TEL: 972.382.1100 WWW.CONSULTANTS-LLC.COM</p>	<p>VINTAGE STREET TOWNHOMES BEING PART OF LONGMIRE ADDITION 1889 Acres in the T. KERNAN SURVEY, ABSTRACT NO. 733 DALLAS COUNTY, TEXAS</p>	<p>OVERALL SITE PLAN</p>
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SCALE: 1" = 20'

GENERAL NOTES:

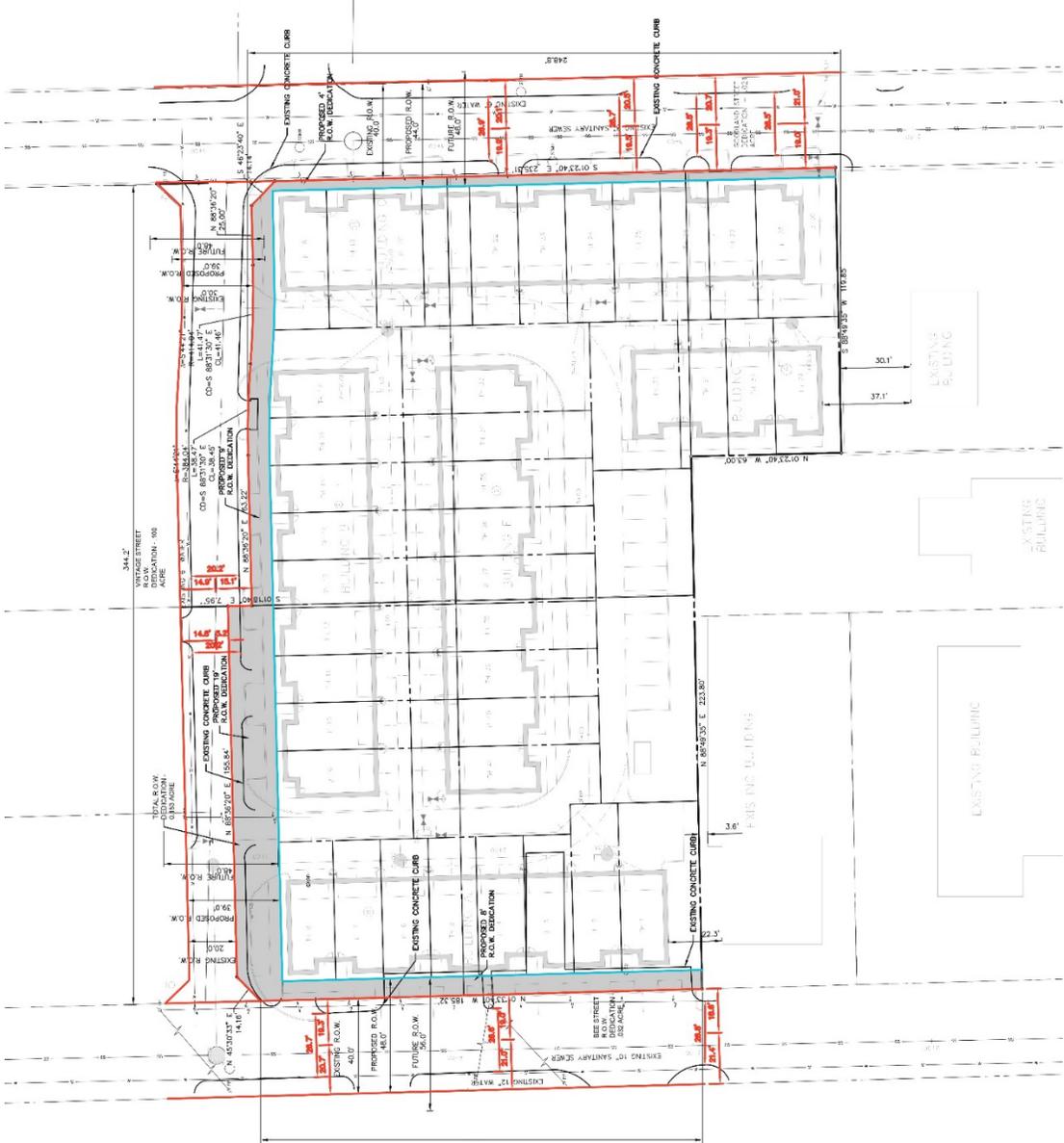
- THE CITY OF FARMERS BRANCH CONSTRUCTION SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF FARMERS BRANCH ORDINANCES, CHAPTER 11, ARTICLES 11.01 THROUGH 11.05, AND THE CITY OF FARMERS BRANCH SUBDIVISION MAP ACT.

LEGEND:

C.S.F.	Concrete Foundation	Proposed Footing
C.S.	Concrete Slab	Proposed Slab
C.S.W.	Concrete Wall	Proposed Wall
M.F.	Masonry Foundation	Proposed Foundation
M.F.W.	Masonry Wall	Proposed Wall
W.C.	Water Course	Proposed Water Course
W.C.W.	Water Course Wall	Proposed Water Course Wall
C.C.W.	Concrete Curb Wall	Proposed Concrete Curb Wall
C.C.	Concrete Curb	Proposed Concrete Curb
U.P.	Utility Pole	Proposed Utility Pole
U.P.W.	Utility Pole Wall	Proposed Utility Pole Wall
T.P.	Top of Footing	Proposed Top of Footing
T.P.W.	Top of Footing Wall	Proposed Top of Footing Wall
D.L.	Drain Line	Proposed Drain Line
R.M.	Right of Way	Proposed Right of Way
P.R.	Proposed Right of Way	Proposed Right of Way
P.R.W.	Proposed Right of Way Wall	Proposed Right of Way Wall
P.R.C.	Proposed Right of Way Concrete	Proposed Right of Way Concrete
P.R.C.W.	Proposed Right of Way Concrete Wall	Proposed Right of Way Concrete Wall

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/17/2016	ISSUED FOR PERMITS
2	11/17/2016	REVISIONS TO PERMITS
3	11/17/2016	REVISIONS TO PERMITS
4	11/17/2016	REVISIONS TO PERMITS
5	11/17/2016	REVISIONS TO PERMITS
6	11/17/2016	REVISIONS TO PERMITS
7	11/17/2016	REVISIONS TO PERMITS
8	11/17/2016	REVISIONS TO PERMITS
9	11/17/2016	REVISIONS TO PERMITS
10	11/17/2016	REVISIONS TO PERMITS



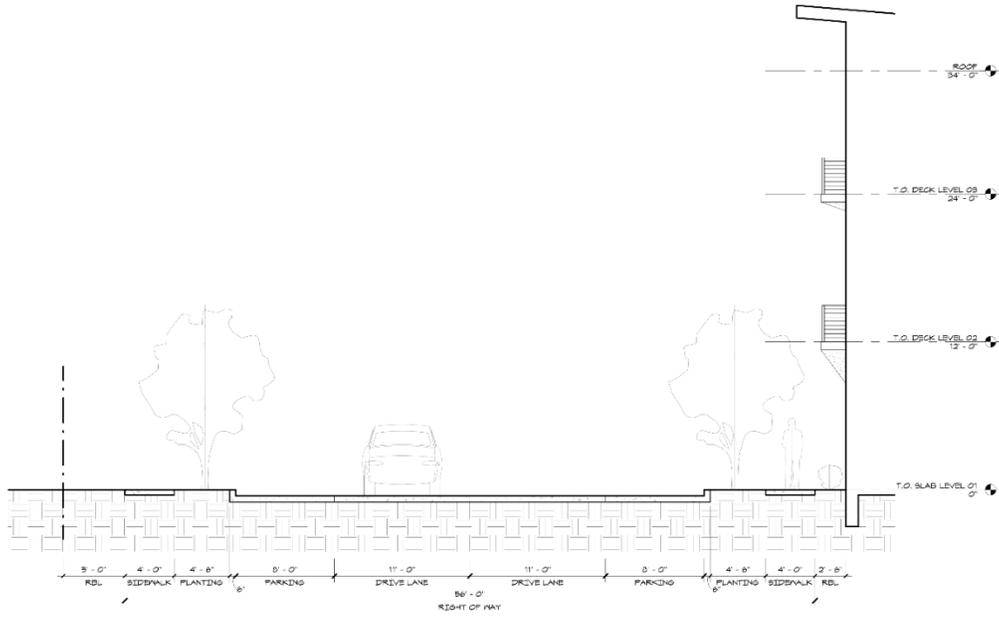
CONSULTANTS, LLC
LAND SURVEYING LANDSCAPE ARCHITECTURE
11717 FARMING COUNTESS BLVD. SUITE 100
DALLAS, TEXAS 75242
TEL: 972.382.1100
WWW.CONSULTANTS-LLC.COM

OVERALL SITE PLAN

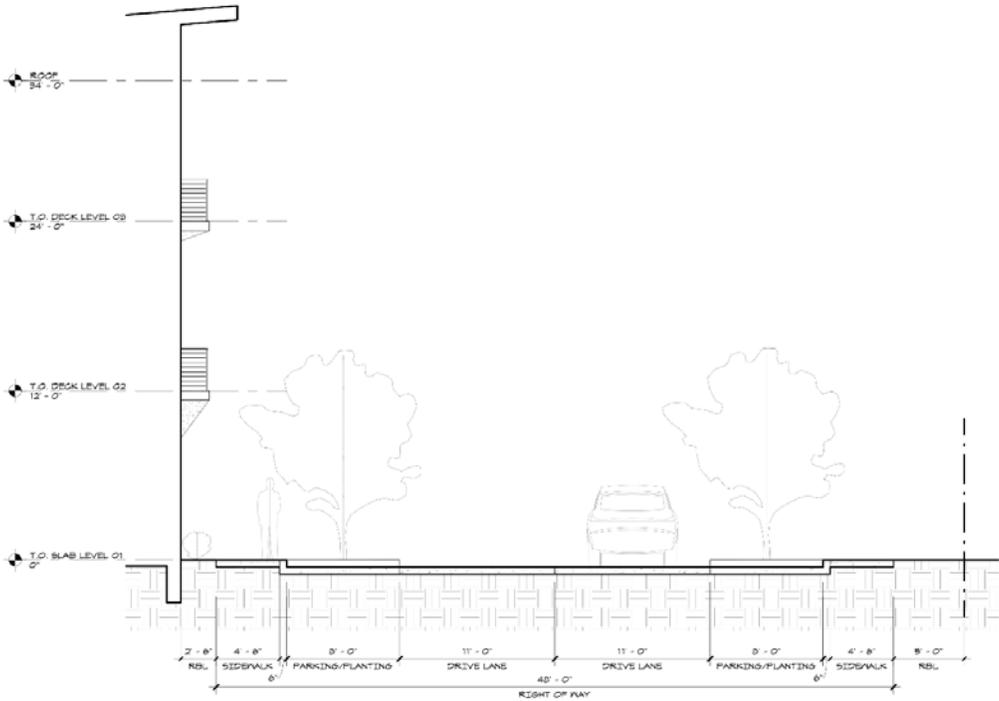
16123

(C)

Resolution No. 2016-066
Exhibit "C" – Street Sections



② **PROPOSED STREET 66 SECTION: BEE STREET**
 SCALE: 3/16" = 1'-0"

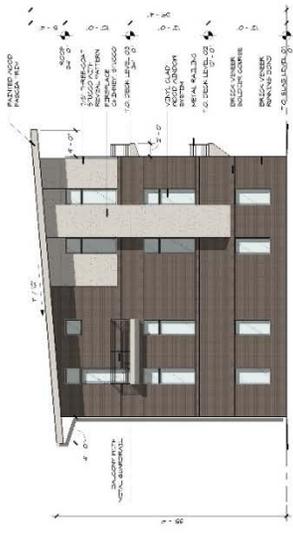


① **PROPOSED STREET 58 SECTION: VINTAGE STREET & GOODLAND STREET**
 SCALE: 3/16" = 1'-0"

Resolution No. 2016-066 Exhibit "D" – Elevations



3 BUILDING A - SOUTH
SCALE: 1/8" = 1'-0"



4 BUILDING A - NORTH (VINTAGE STREET)
SCALE: 1/8" = 1'-0"

MASONRY CALCULATIONS - BUILDING A (8 UNITS):

FACADE	BRICK	BT/GG	GLAZING	SOLID	TOTAL	NR	SR
NORTH	803 SF	200 SF	1,242 SF	1,440 SF	3,685 SF	17%	25%
EAST	3,301 SF	1,194 SF	370 SF	2,659 SF	7,524 SF	15%	25%
WEST	3,370 SF	1,261 SF	2,220 SF	5,157 SF	11,671 SF	15%	25%
OVERALL	8,474 SF	3,655 SF	4,832 SF	11,671 SF	27,632 SF	15%	25%

FENESTRATION CALCULATIONS - BUILDING A:

STREET LEVEL	AREA	% GLAZING
303 & 305 JEWELL	5,204 SF	33%
VINTAGE ST	1,440 SF	14%

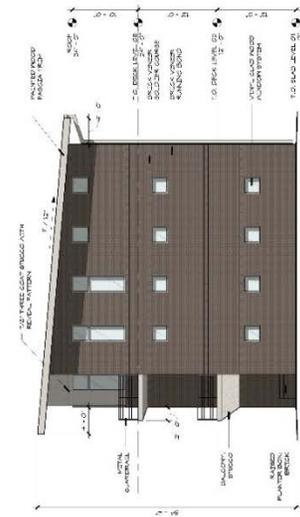


2 BUILDING A - EAST
SCALE: 1/8" = 1'-0"

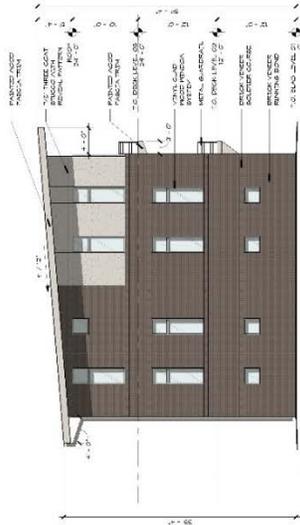


1 BUILDING A - WEST (BEE STREET)
SCALE: 1/8" = 1'-0"

Resolution No. 2016-066 Exhibit "D" – Elevations (cont.)



④ BUILDING B - EAST
SCALE: 1/8" = 1'-0"



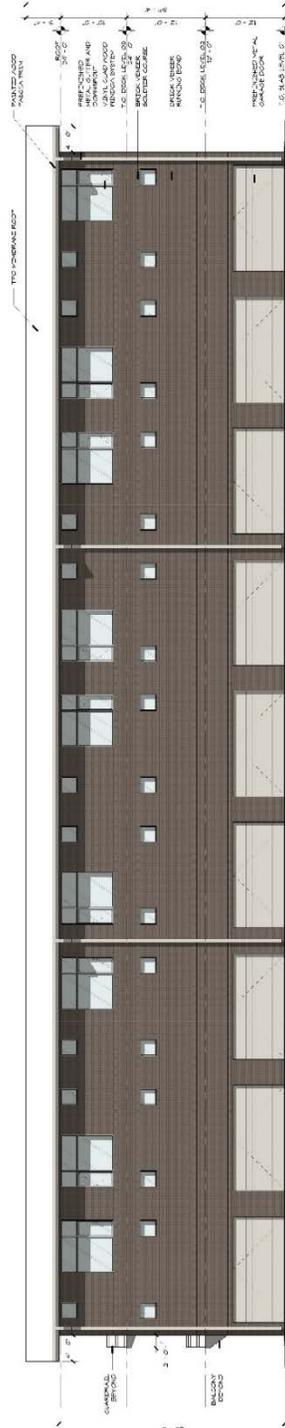
③ BUILDING B - WEST
SCALE: 1/8" = 1'-0"

MASONRY CALCULATIONS - BUILDING B (9 UNITS):

FACADE	BRICK	80/200	6/4/24	SOLID	TOTAL	SQ. FT.	%
NORTH	4,241 SF	1,289 SF	2,502 SF	0,224 SF	8,256 SF	28%	
SOUTH	4,024 SF	1,192 SF	2,325 SF	0,225 SF	7,766 SF	29%	
WEST	1,100 SF	300 SF	1,240 SF	0,220 SF	2,960 SF	10%	
EAST	1,100 SF	300 SF	1,240 SF	0,220 SF	2,960 SF	10%	
OVERALL:	11,224 SF	3,081 SF	12,079 SF	1,104 SF	27,488 SF	100%	

FENESTRATION CALCULATIONS - BUILDING B:

VEHICLE ST	FULL AREA	INDUCTION AREA	% GLAZING
VINTAGE ST	5,096 SF	2,505 SF	31%



② BUILDING B - SOUTH
SCALE: 1/8" = 1'-0"

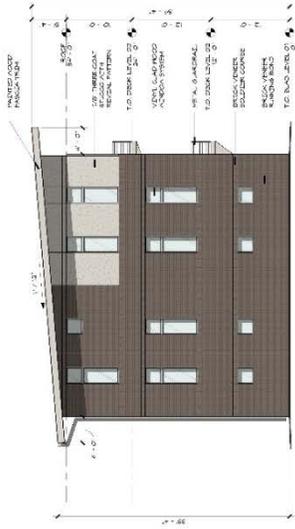


① BUILDING B - NORTH (VINTAGE STREET)
SCALE: 1/8" = 1'-0"

Resolution No. 2016-066 Exhibit "D" – Elevations (cont.)



4 BUILDING E - WEST
SCALE: 1/8" = 1'-0"



3 BUILDING E - EAST
SCALE: 1/8" = 1'-0"

MASONRY CALCULATIONS - BUILDING E (UNITS):

PACKAGE	BRICK	STUCCO	SLABS	SOLID	TOTAL	RSR	RSR
NORTH	4,604 SF	0 SF	1,606 SF	4,604 SF	6,233 SF	100%	0%
EAST	1,604 SF	0 SF	1,180 SF	1,604 SF	2,788 SF	47%	5%
WEST	1,000 SF	178 SF	71 SF	1,271 SF	1,449 SF	88%	14%
OVERALL	1,229 SF	1,848 SF	4,806 SF	12,873 SF	11,282 SF	57%	13%

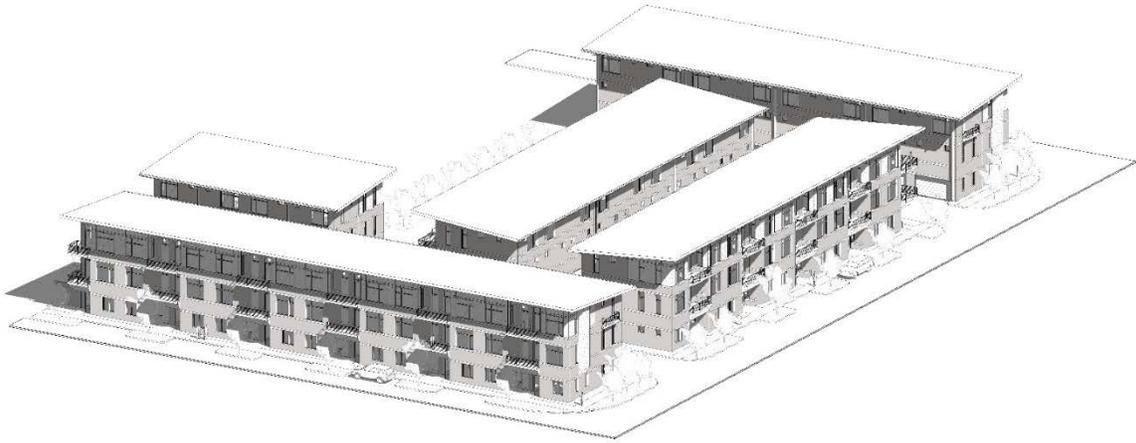


2 BUILDING E - NORTH
SCALE: 1/8" = 1'-0"

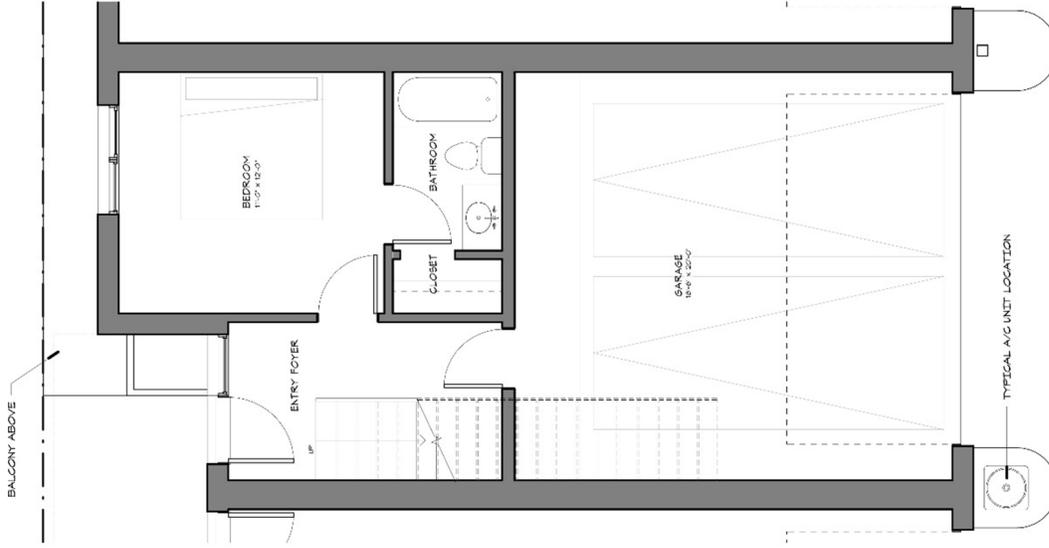


1 BUILDING E - SOUTH
SCALE: 1/8" = 1'-0"

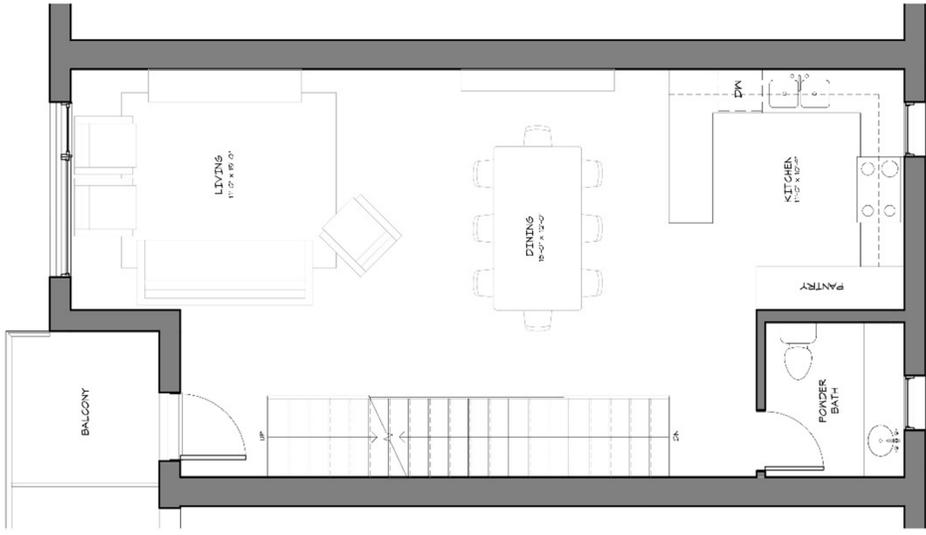
Resolution No. 2016-066
Exhibit “D” – Elevations (cont.)



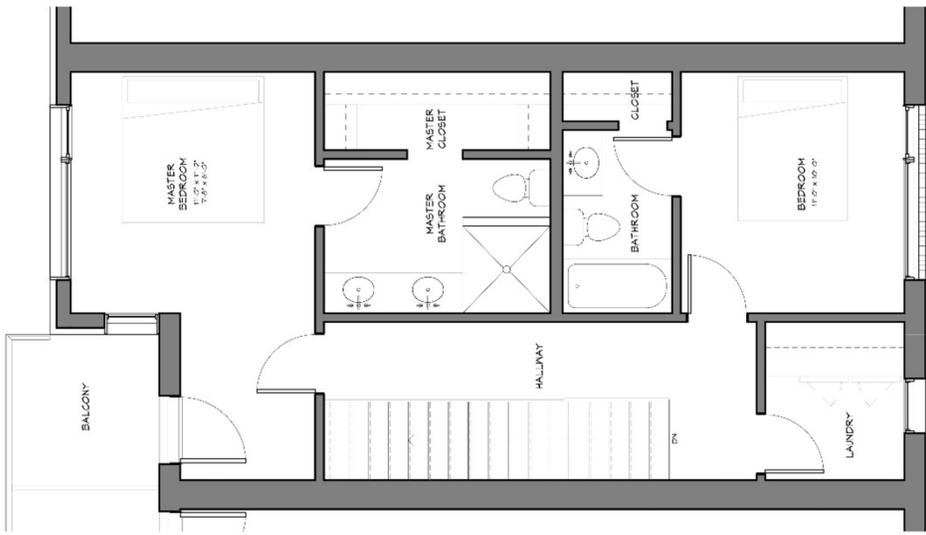
Floor Plans



1 FIRST FLOOR 2,95 SF (A/C)
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR 675 SF (A/C)
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR 675 SF (A/C)
TOTAL UNIT: 1,645 SF (A/C)
SCALE: 1/4" = 1'-0"

Site Photographs





City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-070

Agenda Date: 8/2/2016

Version: 1

Status: Regular Agenda

In Control: City Council

File Type: Resolution

Agenda Number: I.1

Consider approving Resolution No. 2016-070 authorizing the City Manager to execute an agreement for aerial spraying with Dallas County in the event that there is an imminent threat to public health; and take appropriate action.

BACKGROUND:

In the past, Dallas County has experienced mosquito borne disease outbreaks. Recent trends in the vector index (a measure of likelihood of human West Nile Virus infection) have shown a possible incline in infection rates in the coming weeks. Dallas County has a plan for aerial spraying of adulticide (an insecticide used to kill adult insects) in the event of an imminent public health threat. Once the countywide vector index is above 0.5 and shows an upward trend, the county will consider aerial spraying. This trend, combined with human infection rates and weather patterns, will factor into the decision to aerial spray. Cities must decide individually whether or not to participate. If Farmers Branch participates in aerial spraying, the city would have at least 48 hours to notify and educate residents.

DISCUSSION:

The City of Farmers Branch participation in the County aerial spraying plan may be needed in the event there is a threat to public health. Authorizing the City Manager to execute measures will allow the City to agree to pay the cost of aerial spraying in a timely manner. A targeted residential application would cost an estimated \$3,265.37, while a city-wide aerial application would cost an estimated \$13,087.36. Each aerial spraying event is completed two nights in a row for an estimated cost of \$26,174.72. In 2012, aerial spraying was an emergency event and was paid for by Dallas County. This year would require cost-sharing with the county.

RECOMMENDATION:

City Administration recommends approving Resolution No. 2016-070 authorizing the City Manager to execute an agreement for aerial spraying with Dallas County in the event that there is an imminent threat to public health.

POSSIBLE COUNCIL ACTION:

1. I move to approve Resolution No. 2016-070 authorizing the City Manager to execute an agreement for aerial spraying with Dallas County in the event that there is an imminent threat to public health.
2. I move to approve Resolution No. 2016-070 authorizing the City Manager to execute an agreement for aerial spraying with Dallas County in the event that there is an imminent threat to public health, with modifications.
3. I move to table the issue for further study or take no action.

ATTACHMENTS:

1. Resolution No. 2016-070

RESOLUTION NO. 2016-070



A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, AUTHORIZING THE CITY MANAGER TO ENTER INTO AN INTERLOCAL AGREEMENT WITH DALLAS COUNTY FOR AERIAL SPRAYING DURING THE 2015-2016 FISCAL YEAR IF PROMULGATED BY THE DALLAS COUNTY JUDGE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Farmers Branch has in the prior fiscal years identified sufficient quantities of mosquitoes that are carriers of West Nile Virus or other vector-borne infection which pose a health risk to the City's residents for which ground spraying is an inadequate method of controlling such mosquito populations, and may find such conditions occurring during the current fiscal year; and

WHEREAS, given the right conditions, the vector index in Dallas County generally and within the City of Farmers Branch in particular could quickly rise and result in a sudden and extreme human outbreak of West Nile Virus; and

WHEREAS, should the foregoing conditions be determined to exist, the Dallas County Judge may recommend that action be taken to initiate aerial spraying activities in order to reduce mosquito populations in areas of Dallas County that cross the incorporated limits of cities located within the county; and

WHEREAS, the City of Farmers Branch does not possess adequate facilities and equipment to conduct aerial spraying solely within the City's incorporated limits; and

WHEREAS, the need to protect the health of the City's population may require that action be taken with respect to authorizing Dallas County to conduct aerial spraying of mosquitoes and other vector within a time frame that does not permit the City Council to provide timely notice of a meeting pursuant to the Texas Open Meetings Act in order to approve an interlocal cooperation agreement with Dallas County to conduct such aerial spraying; and

WHEREAS, the City Council of the City of Farmers Branch finds it to be in the public interest to provide the City Manager with advance authority to negotiate and enter into such interlocal cooperation agreement;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF FARMERS BRANCH, TEXAS, THAT:

SECTION 1. The City Manager is hereby authorized to negotiate and sign on behalf of the City one or more interlocal cooperation agreements with Dallas County during Fiscal Year 2015-2016 to provide for the conduct of aerial spraying for mosquitoes and other disease carrying vector in a cumulative amount not to exceed \$55,000 and in Fiscal Year 2016-2017 subject to the availability of funds.

SECTION 2. This resolution shall become effective immediately upon its approval.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FARMERS
BRANCH, TEXAS, THIS THE 2ND DAY OF AUGUST, 2016**

ATTEST:

APPROVED:

Amy Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

Peter G. Smith, City Attorney
(kbl:7/24/16:77985)



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: R2016-067

Agenda Date: 8/2/2016

Version: 2

Status: Regular Agenda

In Control: City Council

File Type: Resolution

Agenda Number: I.2

Consider approving Resolution No. 2016-067 approving a First Amendment to the Project Specific Agreement with Dallas County relative to the Marsh Lane Bridge Project; and take appropriate action.

BACKGROUND:

On December 16, 2014 the City Council approved Resolution No. 2014-112 approving a Project Specific Agreement with Dallas County for the Marsh Lane Bridge Project. The project involves removing the southbound Marsh Lane Bridge located between Brookhaven Club Drive and Valley View Lane and constructing a new bridge to bring it out of the flood zone. The project cost was estimated at \$2,100,000 in 2014. The City and Dallas County are partnering in the cost for the bridge replacement under a 50/50 funding match agreement, which came to \$1,050,000.00.

DISCUSSION:

Dallas County recently bid the project and found an increase in construction costs from the initial cost estimate in 2014. The Project Specific Agreement needs to be amended by increasing the City's project cost by \$347,500.00; the total of the City's share of this project is now \$1,397,500. This increases the total project cost for City and Dallas County to \$2,795,000.00 for the Marsh Lane Bridge Project.

The increase in City funding of this project will be provided from the Street Bond Program in the amount of \$347,500.00.

Pending approval of this First Amendment to the Project Specific Agreement by Dallas County, improvements are schedule to tentatively begin in late September/early October 2016.

RECOMMENDATION:

City Administration recommends approving Resolution No. 2016-067 approving a First Amendment to the Project Specific Agreement with Dallas County relative to the Marsh Lane Bridge Project.

POSSIBLE COUNCIL ACTION:

1. I move to approve Resolution No. 2016-067 approving a First Amendment to the Project Specific Agreement with Dallas County relative to the Marsh Lane Bridge Project
2. I move to approve Resolution No. 2016-067 approving a First Amendment to the Project Specific Agreement with Dallas County relative to the Marsh Lane Bridge Project with

modifications.

3. I move to table the issue for further study or take no action.

ATTACHMENTS:

1. Location Map
2. Resolution No. 2016-067
3. Attachment "A" to Resolution - First Amendment to the Project Specific Agreement



City of Farmers Branch
<http://farmersbranch.dfwmaps.com/>

DISCLAIMER

This data has been compiled for City of Farmers Branch. Various official sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.





RESOLUTION NO. 2016-067

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, AUTHORIZING A FIRST AMENDMENT TO THE PROJECT SPECIFIC AGREEMENT WITH DALLAS COUNTY FOR MASTER CAPITAL IMPROVEMENT PROJECT FUNDS RELATIVE TO THE RECONSTRUCTION OF THE SOUTHBOUND MARSH LANE BRIDGE PROJECT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on December 16, 2014, the City of Farmers Branch (“City”) and Dallas County (“County”) entered into a Project Specific Agreement (“the PSA”) providing for construction of pavement improvements on southbound Marsh Lane including construction of a bridge located within the limits of Brookhaven Club Drive to the north and Valley View Lane to the south (“the Project”); and

WHEREAS, based on revised costs for the Project, the County requires the PSA be amended in order for the County to provide additional funding for the Project in the amount of \$347,500.00; and

WHEREAS, the City Council of the City of Farmers Branch finds it to be in the public interest to enter an amendment to the PSA to provide for such additional funding.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS THAT:

SECTION 1. The City Manager is authorized to sign, on behalf of the City, the First Amendment to the Project Specific Agreement with Dallas County set forth in Exhibit “A” attached hereto.

SECTION 2. This Resolution shall become effective immediately upon approval.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS, THIS 2nd DAY OF AUGUST 2016.

ATTEST:

APPROVED:

Amy Piukana, City Secretary

Bob Phelps, Mayor

APPROVED AS TO FORM:

Peter G. Smith, City Attorney
(kbl:7/19/16:77923)

EXHIBIT "A"
to Resolution No. 2016-067

FIRST AMENDMENT
DALLAS COUNTY CAPITAL IMPROVEMENT PROGRAM
PROJECT SPECIFIC AGREEMENT

This First Amendment is entered into this ____ day of _____, 2016, to amend the Project Specific Agreement (“PSA”) between the City of Farmers Branch, Texas (the, “City”), and County of Dallas acting by and through the Dallas County Commissioners Court (the “County”) for the implementation of the Marsh Lane Bridge MCIP Project 10502 from south of Brookhaven Club Drive to Valley View Lane (the “Project”).

WHEREAS, Chapter 791 of The Texas Government Code and Texas Transportation Code Section 472.001 provides authorization for local governments to contract with each other for the performance of governmental functions and services, as well as joint funding of road construction or improvements of road or street projects; and

WHEREAS, pursuant to Dallas County Commissioners Court Order 2011-1203 dated July 5, 2011, County acting by and through the Dallas County Commissioners Court, and City entered into a Master Agreement to jointly fund various street improvement projects; and

WHEREAS, pursuant to Dallas County Commissioners Court Order No. 2015-1095 dated February 10, 2015, County and City entered into a Project Specific Agreement for the implementation of the Marsh Lane Bridge MCIP Project 10502 from south of Brookhaven Club Drive to Valle View Lane; and

NOW THEREFORE, this First Amendment is made by and entered into by the City and the County for the mutual consideration stated herein

I. PURPOSE

City and County both mutually agree to amend said PSA in accordance with the terms of the existing Agreements, except as modified below.

II. AMENDED PROVISIONS

- A. “Article II – Incorporated Documents” of the PSA shall be amended by deleting and replacing the following:

Current Cost Estimates and Funding Sources, as shown in Attachment “B”.

- B. Article VI. Agreements, Section IV. Funding” to the Project Specific Agreement shall be and is hereby revised in its entirety to read as follows:

County and City mutually agrees to proportionately fund the Direct Project and Program cost as follows:

1. Notwithstanding any provision in the Master Agreement, this PSA, any amendment

thereto, or any other agreement between the parties regarding this Project, the total Project cost is estimated at Two Million Seven Hundred and Ninety Five Thousand Dollars and no cents (\$2,795,000.00). The County's total obligation to this Project is to provide funding in the amount not to exceed One Million Three Hundred and Ninety Seven Thousand Five Hundred Dollars and no cents (1,397,500.00) reduced by County's actual in-house delivery costs of the total Project cost. The County in-house delivery cost is estimated at One Hundred Forty Six Thousand Five Hundred Dollars and no cents (\$146,500.00) to be reduced from County's participation.

2. Project costs may include all County project delivery costs including but not limited to preliminary scoping and research, preliminary design services, special services, primary design services, inspection, laboratory services and construction.
3. The City agrees to provide funding for the design and construction of the Project as indicated in the amount of, One Million Three Hundred and Ninety Seven Thousand Five Hundred Dollars and no cents (1,397,500.00).
4. City agrees to encumber an amount adequate for total estimated project costs as determined prior to the commencement of each Project milestone as determined by County within 30 days of notification by County. The City will pay Project costs as invoiced by the County.
5. If the total project costs excluding paving and drainage amenities or utility betterments should exceed the total Project cost, the City and County agree to amend the Project's scope to remain within the current estimated amount.

III. EFFECT OF AMENDMENT

This First Amendment shall not change or waive any contractual provisions, clauses or conditions of the original PSA, unless otherwise provided for herein. The original PSA, including any and all incorporated or referenced documents and any and all exhibits, attachments and amendments that by their terms have been incorporated into any of the foregoing documents, are collectively referred to herein as the PSA. All provisions of the PSA shall remain in full force and effect throughout the term of the PSA and any duly authorized amendments or extensions, including this First Amendment, with the exception of the amended provisions provided herein.

The County of Dallas, State of Texas, has executed this Agreement pursuant to Commissioners Court Order Number _____ and passed on the ___ day of _____, 2016.

The City of Dallas, State of Texas, has executed this Agreement pursuant to duly authorized City Council Resolution No. 2016-067 dated the 2nd day of August, 2016.

City of Farmers Branch

County of Dallas

By: Charles Cox
City Manager

Clay Lewis Jenkins
Dallas County Judge

Date

Date

Approved as to Form:

Peter G. Smith, City Attorney

Approved as to Form*:

Susan Hawk
District Attorney

Sherri Turner
Assistant District Attorney

*By law, the District Attorney's Office may only advise or approve contracts or legal documents on behalf of its clients. It may not advise or approve a contract or legal document on behalf of other parties. Our review of this document was conducted solely from the legal perspective of our client. Our approval of this document was offered solely for the benefit of our client. Other parties should not rely on this approval, and should seek review and approval by their own respective attorney(s).

ATTACHMENT A

Project Supplemental Agreement to Master Agreement Governing Transportation Major Capital Improvement Projects

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

SPECIFIC R.O.W. ALIGNMENT DESCRIPTION

City Council approves of the Financing, Construction or Improvement on Marsh Lane Bridge replacement (SB) beginning at Brookhaven Club and ending at Valley View Lane, with an approximate width of 28-feet or as otherwise necessary and convenient for construction of the project, as more fully described in the City/NCTCOG Thoroughfare/ Transportation Plan and consent to acquire by condemnation, right of way or easement which Dallas County Commissioners Court determines is necessary or convenient to the project.

LEAD AGENCY:	Dallas County Public Works
LEAD AGENCY'S PROJECT MANAGER:	Dennis Abraham, Ph.D., P.E., C.F.M.
CONTACT INFORMATION:	(214) 653-7232
PROJECT LIMITS:	Along Marsh Lane approximately 450 feet north and south of Farmers Branch Creek
PROJECT LENGTH:	Approximately 1000 feet (0.2 miles)

PAVEMENT AND ALIGNMENT TOPICS

PAVEMENT SECTION

PAVING DESIGN CRITERIA

City of Farmers Branch

ROW WIDTH:

Existing:

130'

Proposed:

No change

PAVEMENT WIDTH:

Existing:

24'

Proposed:

28'

ATTACHMENT A

Project Supplemental Agreement to Master Agreement Governing Transportation Major Capital Improvement Projects

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

No. of lanes proposed:

PAVEMENT CROSSFALL:

PROPOSED	<input type="text" value="1.00%"/>
MINIMUM	<input type="text" value="1.00%"/>
MAXIMUM	<input type="text" value="2.00%"/>

MEDIANS

MEDIAN WIDTH

ANY MID BLOCK OPENINGS TO CONSIDER? YES NO

ANY SIDE STREETS TOO CLOSE FOR OPENING? YES NO

STANDARD TURN LANE WIDTH

STANDARD NOSE WIDTH

PARKWAY:

Proposed Width

Proposed Sidewalk Width

Parkway cross fall slope maximum

GRADE REQUIREMENTS:

Is TC 6" below adjacent ground criteria to be followed? YES NO

Any deep cuts, high fills? YES NO

ATTACHMENT A

**Project Supplemental Agreement to Master Agreement Governing
Transportation Major Capital Improvement Projects**

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

VERTICAL GRADE:

MINIMUM

MAXIMUM

CENTERLINE ALIGNMENT POSITION:

IN CENTER OF EXISTING ROW? YES NO

OFFSET FROM CENTER? YES NO If yes, what distance?

ON BRAND NEW ALIGNMENT? YES NO

LEFT TURN LANES: YES NO

If yes, are left turn lanes designated or continuous? DESIGNATED CONTINUOUS

MINIMUM LENGTH:

MINIMUM STORAGE:

WIDTH:

ANY DUAL LEFT TURN LANES? YES NO

ANY FREE RIGHT TURN LANES? YES NO

CRASH CUSHIONS/ATTENUATORS INVOLVED? YES NO

RAILROAD CROSSINGS INVOLVED? YES NO

NOTE: IF CURRENT CROSSING IS NOT USED, IS ABANDONMENT AN OPTION?

YES NO N/A

PAVEMENT STRUCTURE

DESIGN WHEEL LOAD

ATTACHMENT A

Project Supplemental Agreement to Master Agreement Governing Transportation Major Capital Improvement Projects

PROJECT SCOPING SHEETS

Project Name: Marsh Lane Bridge
MCIP Project 10502

BUS AND HEAVY TRUCK TRAFFIC? YES NO

ROADWAY CLASSIFICATION

Major Thoroughfare

MINIMUM PAVEMENT STRUCTURE

8"

THICKNESS:

MINIMUM PAVEMENT BASE OR SUBGRADE

6"

THICKNESS:

DESIGN SPEED

45

POSTED

35

SPEED

DRIVEWAYS

MAXIMUM RESIDENTIAL GRADE (%)

N/A

MAXIMUM COMMERCIAL GRADE

N/A

(%)

MINIMUM COMMERCIAL DRIVEWAY

N/A

WIDTH

SIDE STREET CONSIDERATIONS:

TURNING RADIUS, MINIMUM

N/A

PAVEMENT THICKNESS

N/A

COMMERCIAL DRIVEWAY THICKNESS

N/A

DRAINAGE TOPICS

STORM SEWER DESIGN CRITERIA:

TxDOT

CITY

HYDRO-35

TP-40

INLET DEPTHS (APPROPRIATE FOR PAVEMENT THICKNESS)

4'

ATTACHMENT A

Project Supplemental Agreement to Master Agreement Governing Transportation Major Capital Improvement Projects

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

MINIMUM COVER FOR LATERALS

BRIDGES/BOX CULVERTS INVOLVED? YES NO
If yes, specify involvement: BRIDGE(S) BOX CULVERT(S)

100 YEAR FLOOD PLAIN CONSIDERATION? YES NO
If yes, how many feet of freeboard are required?

PERMITS

COE 404 PERMITS NEEDED YES NO
TCEQ PERMIT YES NO
CDC PERMIT YES NO
EIS YES NO
ADA PERMIT YES NO

ANY OTHER PERMITS FROM OTHER AGENCIES SUCH AS TxDOT, DFW AIRPORT,
DART, ETC.? YES NO

If yes, please document below:

Texas Parks and Wildlife – unknown due to mussel status

UTILITIES

LIST OF ALL KNOWN UTILITIES:

Water, wastewater, gas, phone, cable

ATTACHMENT A

Project Supplemental Agreement to Master Agreement Governing Transportation Major Capital Improvement Projects

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

DOCUMENT KNOWN RISKS (TRA lines, Transmission Towers, Lone Star Gas Valve Stations) FOR OUR UTILITY PARTNERS:

None known at this time

ARE UTILITIES ON EXISTING STREET R.O.W.? YES NO

DO UTILITIES OWN THEIR R.O.W. OR HAVE PREVIOUS EASEMENTS?

YES NO

If yes, please describe below:

HAS WORK ORDER BEEN ISSUED FOR SUE (Subsurface Utility Engineering)?

YES NO

ANY UNUSUAL CONSIDERATIONS? YES NO

If yes, please document below:

After the Farmers Branch Creek leaves city ROW, it is private property to the centerline of the creek.

R-O-W ACQUISITION

RIGHT OF WAY CONSTRAINTS, IF ANY, PROVIDE A LIST AND DESCRIPTION ALONG WITH DATA FOR RISK ASSESSMENT: YES NO

After the Farmers Branch Creek leaves city ROW, it is private property to the centerline of the creek.

ANY NON-ROUTINE, i.e., CEMETERY, JUNK YARD, OLD CHURCHES, SERVICE STATIONS, CONTAMINATED SOILS, LANDFILLS, NOISE WALL CONSIDERATIONS, TRAILER PARKS, TREE ORDINANCES? YES NO

If yes, please define below:

ATTACHMENT A

**Project Supplemental Agreement to Master Agreement Governing
Transportation Major Capital Improvement Projects**

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

- ANY NON-CONFORMING ISSUES? YES NO
- R.O.W. MAP NEEDED? YES NO
- FIELD NOTES NEEDED? YES NO
- R.O.W. PLATS NEEDED? YES NO
- RELOCATION ASSISTANCE INVOLVED? YES NO
- PARKING/LOSS OF PARKING CONSIDERATIONS? YES NO
- HISTORICAL SITE CONSIDERATION? YES NO

USUAL CITY TOPICS OF CONCERN

DESIGN STANDARDS TO BE USED?

NCTCOG

ORDER OF PRECEDENCE OF
STANDARDS

NCTCOG

AUXILIARY LANES? YES NO

PROVISIONS FOR FUTURE WIDENING? YES NO

LANDSCAPING? YES NO

EXPOSED AGGREGATE DRIVEWAYS, SIDEWALKS? YES NO

STAMPED/COLORED CONCRETE? YES NO

IRRIGATION? YES NO

ATTACHMENT A

Project Supplemental Agreement to Master Agreement Governing Transportation Major Capital Improvement Projects

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

BRICK PAVERS? YES NO

If yes, please define location(s):

STREET LIGHTING? YES NO

TRAFFIC SIGNALS? YES NO

PAVEMENT MARKINGS? YES NO

BIKE LANES (EXTRA WIDTH)? YES NO If yes, specify width:

NEW SIDEWALKS? YES NO

BUS TURNOUTS? YES NO

BUS STOPS OR BUS SHELTERS? YES NO

WATER UTILITY BETTERMENTS? YES NO

WATER UTILITY RELOC.? YES NO

SAN. SEWER BETTERMENTS? YES NO

SAN. SEWER RELOC.? YES NO

RETAINING WALLS? YES NO

If yes, please specify wall type (stone, blocks, gabions, proprietary types, etc.):

Not determined yet. CIP or Gravity stone

SOD, SEEDING, TOPSOIL?

SOD SEEDING TOPSOIL OTHER:

DRAINAGE IMPROVEMENTS? YES NO

RR CROSSING IMPROVEMENTS? YES NO N/A

ATTACHMENT A

**Project Supplemental Agreement to Master Agreement Governing
Transportation Major Capital Improvement Projects**

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

GRADE SEPARATIONS? YES NO

RAMPS OR CONNECTORS TO TxDOT FACILITIES? YES NO

If yes, please specify facility(ies) below:

**SPECIAL SCHOOL OR EMERGENCY VEHICLE
CONSIDERATIONS**

ANY NEARBY OR ADJACENT SCHOOLS, CITY HALL, FIRE OR POLICE DEPARTMENT
REQUIRING SPECIAL CONSIDERATION? YES NO

If yes, please list the special consideration(s) below:

PUBLIC INVOLVEMENT

CITY COUNCIL APPROVAL OF ALIGNMENT REQUIRED? YES NO

NEIGHBORHOOD MEETING, REQUIRED? YES NO

HAVE ALL NEIGHBOR GROUPS PROVIDED EARLY INPUT?

YES NO N/A

IF REQUIRED WHO CONDUCTS, CITY OR COUNTY?

CITY COUNTY N/A

DOCUMENT POTENTIAL SITES FOR PUBLIC AND/OR NEIGHBORHOOD MEETINGS:

ATTACHMENT A

Project Supplemental Agreement to Master Agreement Governing Transportation Major Capital Improvement Projects

PROJECT SCOPING SHEETS

**Project Name: Marsh Lane Bridge
MCIP Project 10502**

CONSTRUCTIBILITY REPORT

FROM INSPECTION STAFF, DOCUMENT ANY AND ALL ISSUES THAT MAY AFFECT
PROJECT SCOPE, BUDGET, CONSTRUCTIBILITY, THE PROJECT SCHEDULE AND/OR
THE SAFETY OF PROJECT?

CIP SPREAD FOOTING RETAINING WALLS AND GABION MATTRESSES/BLOCKS

Marsh Lane Breakdown of Costs (Attachment B)

Item	Actual Costs (2016)
Estimated Design & Construction Cost ***	\$2,452,746.00
Estimated Construction Contingency (10% of Construction Bid Cost)	\$195,754.00
Estimated IHPD	\$146,500.00
Total Costs	\$2,795,000.00
Funding	Amount
Dallas County	\$1,397,500.00
City of Farmers Branch	\$1,397,500.00
Total Costs	\$2,795,000.00

*** \$1,994,490.00 Bid Construction Cost + \$30,000.00 Laboratory Cost + \$428,256.00 Design Cost



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
Farmers Branch, Texas
75234

Staff Report

File Number: 16-194

Agenda Date: 8/2/2016

Version: 1

Status: Regular Agenda

In Control: City Council

File Type: Procedural Item

Agenda Number: I.3

Consider adopting a motion to place a proposal to consider adopting a maximum property tax rate of \$0.6056 on the City Council agenda of September 20, 2016; schedule two public hearings on the proposed maximum rate for August 16, 2016 and September 6, 2016; and take appropriate action.

BACKGROUND:

Truth-in-taxation laws require a number of public notices to inform taxpayers about local property taxes. The first notice is an individual notice to a property owner. If the appraised value of a property is greater than last year's value, the chief appraiser of the county sends a *Notice of Appraised Value* to inform a property owner of proposed property values and other necessary information. This notice includes an estimate of current year taxes based on the current year's proposed taxable value and the last year's tax rate.

The next notice is a *Notice of Proposed Property Tax Rate* and it must be published in a newspaper of general circulation or mailed to each property owner. The content of the notice depends on whether or not a proposed property tax rate exceeds the lower of the effective or rollback tax rate as calculated under Chapter 26 of the Tax Code. The effective tax rate produces the same amount of operating revenue (adjusted for new construction and debt service changes) as the prior year. The rollback tax rate produces 8% greater operating revenue (adjusted for new construction and debt service changes) than the prior year. Adopting a tax rate greater than the rollback rate allows 7% of registered voters an opportunity to sign a petition that would require City Council to hold a rollback election to determine whether or not the adopted rate could go into effect.

Truth-in-Taxation laws and legislative guidelines require that when a proposed tax rate exceeds the lower of the effective or rollback rate, the taxing unit's governing body must take a record vote to place a proposal to adopt the rate on the agenda of a future meeting as an action item. [A taxing unit's governing body cannot vote to adopt a proposal to increase taxes by an unspecified amount.] If the motion passes, the governing body must schedule two public hearings on the proposal. The governing body may not adopt a tax rate at either of the two public hearings. The second public hearing may not be held earlier than the third day after the date of the first hearing. At each hearing, the governing body must announce the date, time and place of the meeting at which it will vote on the tax rate.

The governing body must follow a strict timetable once it holds these public hearings. The meeting to vote on the tax rate must take place no less than three days and no more than 14 days after the second public hearing.

DISCUSSION:

The 2016-17 proposed budget was submitted to the City Council by July 31, 2016 in accordance with the City Charter, and is also available to the public for review on the City's website, the Farmers Branch Manske Library, Farmers Branch Police Department, and Farmers Branch Senior Center. The proposed budget was developed maintaining the current tax rate of \$0.602267. However, this agenda item has been prepared to consider a maximum property tax rate of \$0.6056 (per \$100 valuation) or an increase of \$0.003333 (per \$100 valuation) due to debt service associated with the Justice Center improvement bonds approved in May 2016. Tonight's motion proposes the maximum property tax rate the City will consider, but does not adopt any tax rate. The final adopted tax rate may be less, but not more, than the tax rate proposed tonight.

Dallas County is responsible for calculating and certifying the effective and rollback tax rates for the City, but these rates are not scheduled to be available until August 5th. However, it is anticipated that proposing a maximum property tax rate of \$0.6056 will exceed the effective tax rate calculation and, therefore, the City should proceed in following Truth in Taxation guidelines given the strict timetable for compliance and the current City Council meeting schedule. The *Notice of Proposed Property Tax Rate* is anticipated to be published on or after August 10th. A draft copy of the notice is attached to this agenda item.

In anticipating that the proposed maximum tax rate will exceed the lower of the effective or rollback tax rate, the State Property Tax Code requires that the City Council first pass a motion to propose the maximum tax rate it will consider and set two public hearing dates. Public hearings to discuss the tax rate are proposed to take place on August 16, 2016 at 6:00 p.m. at City Hall and September 6, 2016 at 6:00 p.m. at City Hall during the regular City Council meeting. The City Council will adopt a tax rate at the regular City Council meeting on September 20, 2016 at 6:00 p.m.

RECOMMENDATION:

City Administration recommends that the City Council adopt a motion placing a proposal to consider adopting a maximum property tax rate of \$0.6056 for the 2016-17 fiscal year on September 20, 2016 and set public hearings for August 16, 2016 and September 6, 2016 to discuss the proposed rate. The actual adopted rate may be lower than the proposed maximum, but may not exceed this amount. All meetings will be held at 6:00 p.m. at Farmers Branch City Hall Council Chambers located at 13000 William Dodson Parkway, Farmers Branch, Texas 75234.

POSSIBLE COUNCIL ACTION:

1. I motion to approve placing a proposal to consider adopting a maximum property tax rate of \$0.6056 on the City Council agenda for September 20, 2016 at 6:00 p.m. (Take record vote and proceed to "2" if passing the motion; otherwise, proceed to "3".)
2. **IF THE MOTION PASSES:** I motion to schedule two public hearings on the proposed maximum tax rate of \$0.6056 for August 16, 2016 and September 6, 2016. Both hearings will be held at 6:00 p.m. at City Hall Council Chambers located at 13000 William Dodson Parkway, Farmers Branch, Texas 75234.
3. I motion to modify this item to approve placing a proposal to consider adopting a maximum

tax rate of \$0.____ on the City Council agenda for September 20, 2016 at 6:00 p.m. (Take record vote and proceed to “4” if passing the modified motion; otherwise, proceed to “5”.)

4. **IF THE MODIFIED MOTION PASSES:** I motion to schedule two public hearings on the proposed maximum tax rate of \$0.____ for August 16, 2016 and September 6, 2016. Both hearings will be held at 6:00 p.m. at City Hall Council Chambers located at 13000 William Dodson Parkway, Farmers Branch, Texas 75234.

5. Motion to table the issue for further discussion or take no action.

ATTACHMENTS:

1. 2016 Tax Rate Adoption Calendar
2. Notice of Proposed Maximum Property Tax Rate - Draft



DALLAS COUNTY TAX OFFICE
JOHN R. AMES, PCC, CTA
TAX ASSESSOR/COLLECTOR

2016 Tax Rate Adoption Calendar

Name of Entity: City of Farmers Branch

Please complete the following proposed calendar and return it to Sally Stephens **on or before June 1, 2016**. You may email it to sally.stephens@dallascounty.org.

Date	Action
June 3	Second Preliminary EVR and Preliminary Certification to taxing entities from Dallas CAD.
June 30	Submit <i>Preliminary</i> 2016 Tax Rate Calculation Data to Dallas County Tax Office
July 15	Deadline to submit <i>Final</i> 2016 Tax Rate Calculation Data to Dallas County Tax Office
July 25	Deadline for chief appraiser to certify rolls to taxing entities.
August 3	Completed calculation of Effective Tax Rates by Dallas County Tax Office
August 2	Meeting of the governing body to discuss tax rate; if proposed tax rate will exceed the rollback rate or the effective tax rate (whichever is lower), take a record vote and schedule public hearings.
August 10-17	SIMPLIFIED TAX RATE NOTICE* - One quarter page ad that provides the Proposed, Effective & Rollback tax rates and the hearing notice to the public. Published no later than September 1 in the newspaper and posted on your entity website until the final tax rate is adopted.
Aug 16	Address/Location of Public Hearings: City of Farmers Branch, 13000 Wm. Dodson Pkwy
Aug 16	Date and time of First Public Hearing 6:00 pm Entity Website Address: www.farmersbranchtx.gov
Sept 6	Date and time of Second Public Hearing (may not be earlier than 3 days after first public hearing); schedule and announce meeting to adopt tax rate 3-14 days from this date.
Sept 20	Date of meeting to adopt tax rate. Meeting is 3 to 14 days after second public hearing.
	*SB 1510 – 83 rd Legislative Session

What newspaper do you plan to use for publishing your notices? Dallas Morning News

Completed by: Suzanne Prichard Date: June 1, 2016

Signature: _____ Title: Budget Analyst

Email Address: Suzanne.prichard@farmersbranchtx.gov Phone: 972-919-2521

NOTICE OF TAX YEAR PROPOSED PROPERTY TAX RATE FOR

A tax rate of \$ _____ per \$100 valuation has been proposed for adoption by the governing body of _____. This rate exceeds the lower of the effective or rollback tax rate, and state law requires that two public hearings be held by the governing body before adopting the proposed tax rate.

The governing body of _____ proposes to use revenue attributable to the tax rate increase for the purpose of _____.

PROPOSED TAX RATE	\$ _____ per \$100
PRECEDING YEAR'S TAX RATE	\$ _____ per \$100
EFFECTIVE TAX RATE	\$ _____ per \$100
ROLLBACK TAX RATE	\$ _____ per \$100

The effective tax rate is the total tax rate needed to raise the same amount of property tax revenue for _____ from the same properties in both the _____ tax year and the _____ tax year.

The rollback tax rate is the highest tax rate that _____ may adopt before voters are entitled to petition for an election to limit the rate that may be approved to the rollback rate.

YOUR TAXES OWED UNDER ANY OF THE ABOVE RATES CAN BE CALCULATED AS FOLLOWS:

$$\text{property tax amount} = (\text{rate}) \times (\text{taxable value of your property}) / 100$$

For assistance or detailed information about tax calculations, please contact:

_____ tax assessor-collector

You are urged to attend and express your views at the following public hearings on the proposed tax rate:

First Hearing: _____ at _____.

Second Hearing: _____ at _____.



City of Farmers Branch

Farmers Branch City Hall
13000 Wm Dodson Pkwy
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75234

Staff Report

File Number: 16-197

Agenda Date: 8/2/2016

Version: 1

Status: Closed Session

In Control: City Council

File Type: Report

Agenda Number: J.1

Council may convene into a closed executive session pursuant to Section 551.072 of the Texas Government Code to deliberate regarding:

- **Discuss the purchase, exchange, lease, or sale of real property located south of Valwood, north of I635, west of Marsh Lane, east of I35.**